



**Clackamas County Planning and Zoning Division  
Department of Transportation and Development**

Development Services Building  
150 Beavercreek Road | Oregon City, OR 97045

503-742-4500 | [zoninginfo@clackamas.us](mailto:zoninginfo@clackamas.us)  
[www.clackamas.us/planning](http://www.clackamas.us/planning)

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**NOTICE OF LAND USE APPLICATION IN YOUR AREA**

**Date of Mailing of this Notice:** 03/05/2024

**Notice Mailed To:** Property owners within 500 feet of the subject property  
Community Planning Organizations (CPO)  
Interested Agencies

**File Number:** Z0046-24

**Application Type:** Partition

**Proposal:** RA-1 zone Two parcel partition of a 2.14 acre property. One new lot to be created for residential development Site is currently developed with a circa 1964 single family home and several accessory buildings. Within the Clackamas River Water District. The site is located at 18429 S Redland road tax id 33E06B 03600.

**Applicable Zoning and Development Ordinance (ZDO) Criteria:** In order to be approved, this proposal must comply with ZDO Sections ZDO 316, 1105, 1000, 1001, 1002, 1005, 1006, 1007, 1012, 1017 in accordance with 1307. The ZDO criteria for evaluating this application can be viewed at <https://www.clackamas.us/planning/zdo.html>

**Applicant:** CHESHEV, YURIY

**Property Owner:** CHESHEV TATYANA

**Site Address:** 18429 S REDLAND RD  
OREGON CITY, OR 97045

**Assessor's Map and Tax Lot:** 33E06B 03600

**Zoning:** RA1-RURAL AREA RESIDENTIAL

**Staff Contact:** Lizbeth Dance 503-742-4524

**E-mail:** [LDance@co.clackamas.or.us](mailto:LDance@co.clackamas.or.us)

**File Number:** Z0046-24

**Community Planning Organization:** The following recognized Community Planning Organization (CPO) has been notified of this application. This organization may develop a recommendation. You are welcome to contact the CPO and attend their meeting on this matter, if one is planned.

REDLAND-VIOLA-FISCHER'S CPO  
WARD LANCE 503-631-2550  
LANCECWARD@AOL.COM

If this CPO is currently inactive and you are interested in becoming involved in land use planning in your area, please contact Clackamas County Community Engagement at [communityinvolvement@clackamas.us](mailto:communityinvolvement@clackamas.us). In some cases where there is an inactive CPO, a nearby active CPO may review the application. To determine if that applies to this application, call or email the staff contact.

**How to Review this Application:** A copy of the application, all documents and evidence submitted by or on behalf of the applicant, and applicable criteria are available for inspection at no cost. Copies may be purchased at the rate of \$2.00 per page for 8 1/2" x 11" or 11" x 14" documents, \$2.50 per page for 11" x 17" documents, \$3.50 per page for 18" x 24" documents and \$0.75 per sq ft with a \$5.00 minimum for large format documents. You may view or obtain these materials:

- Online at <https://accela.clackamas.us/citizenaccess/>. After selecting the Planning tab enter the file number to search. Select File Number and then select Attachments from the dropdown list, where you will find the submitted application; or
- By emailing or calling the staff contact.

**Decision Process:** Following the closing of the comment period, a written decision on this application will be made and a copy will be mailed to you. If you disagree with the decision, you may appeal to the Land Use Hearings Officer, who will conduct a public hearing. There is a \$250 appeal fee.

**How to Comment on this Application:**

To ensure your comments are considered prior to issuance of the decision, they must be received within 20 days of the date of this notice. Comments may be submitted by email to the staff contact or by regular mail to the address at the top of this notice. Please include the file number on all correspondence, and focus your comments on the approval criteria identified above or other criteria that you believe apply to the decision.

Comments:

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Your Name/Organization

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Telephone Number

*Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at least three (3) business days before the meeting at 503-742-4545 or [DRenhard@clackamas.us](mailto:DRenhard@clackamas.us).*

¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод? |  
翻译或口译? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



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**TYPE II OR III LAND USE APPLICATION**

**DEEMED COMPLETE**

ORIGINAL DATE SUBMITTED:	<input type="text" value="02/13/24"/>
FILE NUMBER:	<input type="text" value="Z0046-24"/>
APPLICATION TYPE:	<input type="text" value="PARTITION"/>

The Planning and Zoning Division staff deemed this application complete for the purposes of Oregon Revised Statutes (ORS) 215.427 on:

Staff Name

Title

**Comments:**

Request for a RA-1 zone Two parcel partition of a 2.14 acre property. One new lot to be created for residential development Site is currently developed with a circa 1964 single family home and several accessory buildings. Within the Clackamas River Water District. The site is located at 18429 S Redland road tax id 33E06B 03600.

**Check one:**

The subject property is located inside an urban growth boundary. The 120-day deadline for final action on the application pursuant to ORS 215.427(1) is:

The subject property is not located inside an urban growth boundary. The 150-day deadline for final action on the application pursuant to ORS 215.427(1) is:



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<b>STAFF USE ONLY</b>	
RECEIVED	
<b>Feb 13 2024</b>	
Clackamas County Planning & Zoning Division	
Z0046-24	
Staff Initials:	File Number:

Land use application for:

# PARTITION

(For a maximum of three total parcels and including 'Type II' replats)

Application Fee: \$2,705  
 (+ \$4,030 if Hydrogeologic Review is required)

APPLICANT INFORMATION			
Applicant name:	Applicant email:	Applicant phone:	
Applicant mailing address:	City:	State:	ZIP:
Contact person name (if other than applicant):	Contact person email:	Contact person phone:	
Contact person mailing address:	City:	State:	ZIP:

PROPOSAL	
Brief description of proposal:	Pre-application conference file number:

SITE INFORMATION		
Site address:	Comprehensive Plan designation:	Zoning district:
Map and tax lot #: Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____	Land area:	
Adjacent properties under same ownership: Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____		

Printed names of all property owners:	Signatures of all property owners:	Date(s):
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<b><i>I hereby certify that the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.</i></b>	
Applicant signature:	Date: 01/23/2024

## A. Complete a pre-application conference:

You must attend a pre-application conference with Planning and Zoning staff before filing this application. [Information about the pre-application conference](#) process and a request form are available from the Planning and Zoning website.

## B. Review applicable land use rules:

This application is subject to the provisions of [Section 1105, Subdivisions, Partitions, Replats, Condominium Plats, and Vacations of Recorded Plats](#) of the [Clackamas County Zoning and Development Ordinance](#) (ZDO).

It is also subject to the ZDO's definitions, procedures, and other general provisions, as well as to the specific rules of the subject property's zoning district and applicable development standards, as outlined in the ZDO.

## C. Turn in all of the following:

- Complete application form:** Respond to all the questions and requests in this application, and make sure all owners of the subject property sign the first page of this application. Applications without the signatures of *all* property owners are incomplete.
- Application fee:** The cost of this application is **\$2,705**. If Hydrogeologic Review is required, there is an additional fee of \$4,030. Payment can be made by cash, by check payable to "Clackamas County", or by credit/debit card with an additional card processing fee using the [Credit Card Authorization Form](#) available from the Planning and Zoning website. Payment is due when the application is submitted. Refer to the FAQs at the end of this form and to the adopted [Fee Schedule](#) for refund policies.
- Preliminary plat:** The preliminary plat must be drawn to a scale of not less than one inch = 20 feet and not more than one inch = 200 feet. If the preliminary plat is larger than 11 x 17 inches, five reduced-sized, legible copies of the preliminary plat shall be submitted on 8.5 x 14-inch or 11 x 17-inch paper. The preliminary plat must include all of the following (when applicable):
  - Source of domestic water and location of any existing and proposed wells;
  - Method of wastewater disposal and location of any existing and proposed onsite wastewater treatment systems;
  - Existing and proposed utility lines and facilities;
  - Calculations demonstrating that the proposed density complies with the minimum and maximum density standards of ZDO [Section 1012, Lot Size and Density](#), or for zoning districts not subject to Section 1012, demonstrating compliance with the minimum lot size in the applicable zoning district;
  - Locations, dimensions, and area of each lot, parcel, and tract;
  - The north-south dimension and front-lot-line orientation of each proposed lot or parcel, except for lots or parcels for which an exception from the solar design standard of ZDO [Subsection 1017.03](#) is requested pursuant to Subsection 1017.04. For the purpose of this submittal requirement, "north-south dimension" and "front lot line" are defined in Subsection 1017.02;
  - Date the preliminary plat was prepared;
  - North arrow;
  - Identification of each lot or parcel by number;
  - Locations and widths of all roads abutting the subject property, including road names, direction of drainage, approximate grades, and whether public or private;
  - Locations and widths of all proposed roads, including proposed names, approximate grades, radii of curves, and whether public or private;

- Location and width of legal access to the partition, other than public or County roads, if applicable;
  - Contour lines at two-foot intervals if 10 percent slope or less or five-foot intervals if exceeding 10 percent slope within an urban growth boundary (UGB); contour lines at 10-foot intervals outside a UGB; and the source of contour information;
  - Locations of all seasonal and/or perennial drainage channels, including their names if known, and flow direction;
  - Locations and widths of all existing and proposed easements, to whom they are conveyed and for what purpose;
  - Locations and dimensions of all existing and proposed driveways and walkways;
  - Locations and dimensions of existing structures to be retained and their setbacks from existing and proposed lot lines;
  - Locations and dimensions of all areas to be offered for public use;
  - Boundaries and type of restricted areas identified in ZDO Subsection [1012.05](#), as applicable; and
  - Locations of all significant vegetative areas, including, but not limited to, wooded areas, specimen trees, and bearing trees.
- Service Feasibility Determinations:** Request that the property's water provider, sanitary sewer provider, and surface water management authority, as applicable, each complete a [Preliminary Statement of Feasibility](#) and include those completed statements with your application. If the proposed development will be served by an onsite wastewater treatment system (e.g., a septic system), include an approved Site Evaluation or Authorization Notice from the [Septic & Onsite Wastewater Program](#) attesting to the feasibility of your proposal.
- For a property with designated Open Space:** If the subject property to be partitioned includes land designated Open Space by the County's [Comprehensive Plan](#), a *vicinity map* showing the location of the subject property in relation to adjacent properties, roads, bikeways, pedestrian access, utility access, and manmade or natural site features that cross the boundaries of the subject property. An *existing conditions map* of the subject property with the Open Space designation must also be provided. The existing conditions map must illustrate all of the following (when applicable):
- Contour lines at two-foot intervals for slopes of 20 percent or less within a UGB; contour lines at five-foot intervals for slopes exceeding 20 percent within a UGB; contour lines at 10-foot intervals outside a UGB; and the source of contour information;
  - Slope analyses designating portions of the site according to the following slope ranges and identifying the total land area in each category: zero to 20 percent; greater than 20 percent to 35 percent; greater than 35 percent to 50 percent; and greater than 50 percent;
  - Drainage;
  - Potential hazards to safety, including areas identified as mass movement, flood, soil, or fire hazards pursuant to ZDO [Section 1003, Hazards to Safety](#);
  - Marsh or wetland areas, underground springs, wildlife habitat areas, and surface features such as earth mounds and large rock outcroppings;
  - Location of wooded areas, significant clumps or groves of trees, and specimen conifers, oaks, and other large deciduous trees. Where the subject property is heavily wooded, an aerial photography, at a scale of not more than one inch = 400 feet, may be submitted and only those trees that will be affected by the proposed development need be sited accurately;
  - Location of any overlay zoning districts regulated by ZDO Section 700, *Special Districts*;
  - Noise sources;
  - Sun and wind exposure;
  - Significant views; and
  - Existing structures, impervious surfaces, utilities, landscaping, and easements.

- For a property that is already a platted lot or parcel:** If the subject property is already a platted lot or parcel, include a full copy of the latest partition or subdivision plat and a density calculation made pursuant to ZDO [Subsections 1105.04\(B\)\(2\) and \(3\)](#).
- Master plan, if required by ZDO Section 1012:** Minimum density and maximum lot size standards apply in certain zoning districts. ZDO [Section 1012](#) allows for partitions that do not meet required minimum density and maximum lot size standards, provided a master plan is submitted demonstrating that the standards could be met for the entire property through future land division.
- For Historic Landmark sites, and sites located in a Historic District or Historic Corridor:** Submit a narrative and/or plans demonstrating compliance with ZDO [Subsection 707.06\(C\)\(6\)](#), as applicable.
- Any additional information or documents advised of during the pre-application conference**

**D. Answer the following questions:**

Accurately answer the following questions in the spaces provided. Attach additional pages, if necessary.

1. Is the subject property already a *platted* lot or parcel?

- NO, it is not platted.
- YES, and I understand this partition is subject to the additional criteria for a replat. The property to be partitioned is currently identified as follows:

Plat name/number: \_\_\_\_\_

Current parcel number for subject property: \_\_\_\_\_

2. In an Urban Low Density Residential District, the partition may be designated as a zero-lot-line development. In a zero-lot-line development, there are no minimum rear and side setbacks for single-family dwellings, manufactured homes, and structures accessory to single-family dwellings and manufactured homes, except from rear and side lot lines on the perimeter of the final plat.

Are you requesting this partition be designated as a zero-lot-line development?

- NO                       YES

3. a. Will the partition include common areas and facilities and/or is it located in Government Camp, where snow removal and storage are required? (Examples of common areas and facilities include open space, private roads, access drives, parking areas, and recreational uses.)

- NO (skip to Question 4)
- YES (answer Questions 3.b. and 3.c)

b. Identify all the proposed common areas and facilities:

c. Who will own, improve, operate, and maintain the common areas and facilities and/or provide for snow removal and storage in Government Camp?

A nonprofit, incorporated homeowners association that:

1. Will continue in perpetuity unless the requirement is modified pursuant to either ZDO [Section 1309, Modification](#), or the approval of a new land use permit application;
2. Mandates membership in the homeowners association for each parcel owner; and
3. Is incorporated prior to recording of the final plat.

A government entity named: \_\_\_\_\_

A nonprofit conservation organization named: \_\_\_\_\_

An alternative entity named and described in the box below:

4. Is the subject property in a future urban area, as defined by [Chapter 4](#) of the Comprehensive Plan?

NO

YES, and the location of proposed easements, road dedications, structures, wells, and onsite wastewater treatment systems is consistent with the orderly future development of the subject property at urban densities for the following reasons:

**E. If the property is already platted:**

Partitioning a property that is already platted involves a “replat”. The number of lots or parcels in a replatted area cannot exceed the number previously approved for the area, unless: the gross site area of the affected plat is increased, or is of sufficient size to allow additional lots or parcels, or; the zoning on the subject property has been changed since the existing plat was approved, permitting a greater density on all, or part, of the original platted area.

If the subject property is already a *platted* lot or parcel, identify the circumstances that allow for the number of lots or parcels in the replatted area to exceed the number previously approved for the area (attach additional pages, if necessary):

- The gross site area of the affected plat will be increased from \_\_\_\_\_ acres to \_\_\_\_\_ acres.
- The gross site area of the affected plat will remain \_\_\_\_\_ acres, which is a sufficient size to allow additional lots or parcels.
- The zoning of the subject property has been changed since the existing plat was approved, permitting a greater density on all, or part, of the original platted area, as explained in the box below:

**F. If the property is already platted and in the AG/F, EFU, or TBR District:**

If the partition constitutes a replat and is in the AG/F, EFU, or TBR District, answer all of the following questions. Attach additional pages, if necessary.

1. Would the replat **decrease** the size of a lot of record that, before the replat, is smaller than 80 acres *and* contains an existing dwelling or is approved for the construction of a dwelling?

- NO
- YES, it would decrease the size of a lot of record that is currently smaller than 80 acres and contains an existing dwelling.
- YES, it would decrease the size of a lot of record that is currently smaller than 80 acres and is approved for a dwelling per the following building permit or land use permit number: \_\_\_\_\_

2. Would the replat **decrease** the size of a lot of record that contains an existing dwelling or is approved for construction of a dwelling to a size smaller than 80 acres?

- NO
- YES, it would decrease the size of a lot of record that contains an existing dwelling to a size smaller than 80 acres.
- YES, it would decrease the size of a lot of record that that has been approved for a dwelling to a size smaller than 80 acres. The following building permit or land use permit number is the approval for the dwelling: \_\_\_\_\_

3. Would the replat **increase** the size of a lot of record to a size as large as or larger than the minimum lot or parcel size required for it to qualify for a dwelling?

- YES, the replat would increase the size of one of the lots of record to a size that would be large enough for it to qualify for a dwelling.
- NO, the lot of record that will be increased in size will *not* be as large or larger than the minimum lot or parcel size required for it to qualify for a dwelling, for the following reasons:

- NO, because the replat would not increase the size of any lot of record.

4. ZDO Subsection 1105.04(A)(3)(c)(iv) **prohibits** replats in a natural resource zone when the replat would allow an area of land used to qualify a lot of record for a dwelling based on an acreage standard to be used to qualify another lot of record for a dwelling if that land use approval for a dwelling would be based on an acreage standard.

In the box below, explain how the proposed replat would *not* be used to allow an area of land used to qualify a lot of record for a dwelling based on an acreage standard to be used to qualify another lot of record for a dwelling based on an acreage standard.

5. ZDO Subsection 1105.04(A)(3)(c)(v) **prohibits** the replat of a property line that resulted from a subdivision or partition authorized by a waiver so that any lot of record affected by the replat is larger than:
- Two acres if the lot of record is, before the replat, two acres in size or smaller and is high-value farmland, high-value forestland, or within a ground water restricted area; or
  - Five acres if the lot of record is, before the replat, five acres in size or smaller and is *not* high-value farmland, high-value forestland, or within a groundwater restricted area.

Would the proposed replat comply with Subsection 1105.04(A)(3)(c)(v)?

NO

YES

6. ZDO Subsections 1105.04(A)(3)(c)(vi) and (vii) **prohibit** replats in a natural resource zone that would separate:

- A temporary dwelling for care, home occupation, relative farm help dwelling, or processing facility from the lot of record on which the primary residential use or other primary use exists; or
- An accessory dwelling in conjunction with a farm use approved pursuant to Subsection 401.05(C)(12), except as provided in OAR 660-033-0010(24)(B).

In the box below, explain how the proposed replat will comply with these subsections. For example, if there is no temporary dwelling for care, home occupation, relative farm help dwelling, processing facility, or accessory dwelling on either property affected by the adjustment, say so.

## FAQs

### What is a partition?

Partitions are land divisions creating two or three parcels in one calendar year. A partition requires approval of a Partition permit application.

### What is *not* a partition?

Partitions do *not* include: land divisions creating four or more lots in a calendar year; divisions resulting from lien foreclosures, from foreclosure of recorded contracts for sale of real property, or from the creation of cemetery lots; any adjustment of a lot line by the relocation of a common boundary where an additional parcel is not created; or the sale of a lot in a recorded subdivision, even though the lot may have been acquired prior to the sale with other contiguous lots or property by a single owner.

### What is the permit application process?

Partition permits are subject to a "Type II" land use application process, as provided for in [Section 1307](#) of the ZDO. Type II decisions include notice to owners of nearby land, the Community Planning Organization (if active), service providers (sewer, water, fire, etc.), and affected government agencies. If the application is approved, the applicant must comply with any conditions of approval identified in the decision. The Planning Director's decision can be appealed to the County Land Use Hearings Officer.

### What is needed for the County to approve a land use permit?

Partitions *may* be permitted after an evaluation by the County of applicable standards of the ZDO. The applicant is responsible for providing evidence that their proposal does or can meet those standards. In order to address the standards, the information requested in this application should be as thorough and complete as possible. A permit will only be approved or denied after a complete application is received and reviewed. The County approves an application only if it finds that the proposal meets the standards or can meet the standards with conditions.

### How long will it take the County to make a decision about an application?

The County makes every effort to issue a decision on a Type II land use application within 45 days of when we deem the application to be complete. State law generally requires a final County decision on a land use permit application in an urban area within 120 days of the application being deemed complete, and within 150 days for a land use permit in a rural area, although there are some exceptions.

### If an application is submitted and then withdrawn, will a refund be given?

If a submitted Type II application is withdrawn before it is publicly noticed, 75% of the application fee paid, or the fee paid minus \$250, whichever is less, will be refunded. If a submitted application is withdrawn after it is publicly noticed, but before a decision is issued, 50% of the application fee paid, or the fee paid minus \$500, whichever is less, will be refunded. No refund will be given after a decision is issued.

The additional Hydrogeologic Review fee, if applicable, can be refunded in full, provided the application is withdrawn before any work has been done by the hydrogeologist; after any work has been done by the hydrogeologist, no portion of the Hydrogeologic Review fee will be refunded.

### Who can help answer additional questions?

For questions about the County's land use permit requirements and this application form, contact Planning and Zoning at [503-742-4500](tel:503-742-4500) or [zoninginfo@clackamas.us](mailto:zoninginfo@clackamas.us). You can also find information online at the Planning and Zoning website: [www.clackamas.us/planning](http://www.clackamas.us/planning).

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## Clackamas River Water

Date: October 30, 2023

SENT VIA EMAIL

To: Lizbeth Dance, Planning  
Clackamas County

From: Anthony Steele, Engineering Associate  
Clackamas River Water

Subject: Land Use Review Pre-Application Conference: **File #ZPAC0097-23**

Site Address: 18429 S Redland Rd, Oregon City, OR 97045

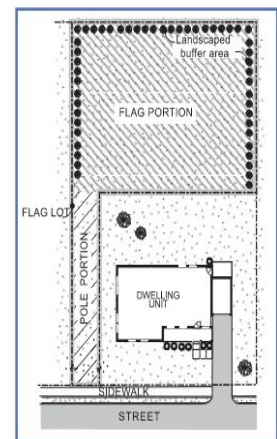
Legal Description: 33E06B 03600

### Comments:

CRW has reviewed the subject application and makes the following comments. Comments are introductory and may change based on the preliminary/final design.

1. CRW currently has the following infrastructure available within the public right-of-way to serve the site:
  - a. 6-inch ductile iron waterline within S Redland Rd;
  - b. 8-inch ductile iron waterline within S Scotts Ln (Private).
2. CRW currently is serving the site with the following service:
  - a. 3/4-inch meter along S Redland Rd.
3. Water Distribution Design & Infrastructure Requirements:
  - a. The proposed development lies within the service boundaries of Clackamas River Water (CRW) and shall be subject to the following CRW requirements:
    - i. Clackamas River Water Rules and Regulations, April 1996, Resolution No. 2-99
    - ii. Clackamas River Water, Standard Specifications for Development, May 2021
    - iii. Clackamas River Water, SDC, Miscellaneous Fees and Charges for Services, latest edition.
  - b. All water improvements designed and constructed by the Applicant to serve the proposed development must meet all CRW standards, must be reviewed and approved by CRW prior to issuance of a Clackamas County Development Permit, and must consider the following:
    - i. The available water system capacity to the site is limited to the size, pressure, and volume within an existing or future water main serving the property. Where the requested demand exceeds the water main capacity, the Applicant is responsible for the total costs of a water main enlargement or extension required to meet the demand.
    - ii. The Applicant is responsible for all costs associated with design, construction and testing to provide adequate domestic water and fire service to the development.
    - iii. All public water system improvements required for this development, including side branch waterlines, fire hydrants, meters, fire services, and other appurtenances, shall become the ownership of CRW.
    - iv. Additional fire hydrants proposed for the development on existing or new waterlines shall be reviewed and approved by CRW. CRW shall have the sole authority for determining the existing water system capacity to serve the development.
    - v. Water service solely for private fire protection to a customer-owned fire sprinkler system is classified as a fire service connection (restricted water use).

- vi. Fire services, including those serving private fire sprinkler systems, shall be installed where required and shall be provided, owned, maintained, and tested by the customer. All fire services shall be metered and protected from backflow.
  - c. CRW reserves the right to require a water main replacement if a development or redevelopment does not meet current water system standards or would demand more capacity for consumption or fire suppression than existing water mains could adequately supply. The cost of any mainline replacement required to serve the development or redevelopment shall be borne entirely by the Applicant.
  - d. The average system pressure range at this location in the CRW distribution system is approximately 135-140 psi. Where static pressure in water supply piping exceeds 80 psi, an approved pressure regulator shall be provided, installed, and maintained by the Customer to reduce the pressure in accordance with Oregon Plumbing Specialty Code.
4. Service Connection and System Development Charges:
- a. Service Connection:
    - i. To request new water services, visit CRW's website at <https://crwater.com/connect-service/> for service request information, forms, and examples.
    - ii. A Water Service Application will only be issued after all required informational forms, site plans, proof of active building or plumbing permits, and any other required information have been submitted.
    - iii. Required deposits, fees, and charges will be collected in full only after an approved Water Service Application has been submitted.
    - iv. Per Section 8 of CRW's Rules and Regulations, the following will be required when the County Development Permit is issued for the parcel or per ZDO1006.05.F:
      - 1. Domestic service will require review and approval by Clackamas River Water to ensure adequate sizing based on site demand.
      - 2. *"Water service will be provided only from pipes or mains located within public streets, alleys or rights-of-way, or within easements furnished CRW, and to property or premises with frontage to such mains..."*
        - a. CRW has a 30-ft water easement along S Scotts Ln. In the proposed partition, the proposed Parcel 1 will have frontage on the main within S Scotts Ln. Water service shall be from this main, and the meter installed along the parcel's frontage within public water easement along Scotts Ln.
      - 3. *"Each dwelling or building will be provided with its own water service connection and meter"*
    - v. When a lot or parcel of land is provided with a service connection and the parcel is subdivided, the service connection shall be considered as belonging to the lot or parcel of land which it directly enters.
      - 1. In the proposed subdivision, the existing meter to 18429 S Redland Rd shall remain in service to the proposed Parcel 2.
    - vi. All domestic and private mains must be installed entirely on the lot for which it serves. Services and private mains will not be allowed to cross property lines or to be placed in a private utility easement unless an exemption has been granted by the Clackamas River Water Board of Commission.
  - b. System Development Charges (SDC):
    - i. SDCs are based on meter size. SDCs will be assessed in accordance with the CRW Water Rate Schedule at the time an approved Water Service Application has been submitted. SDC rate adjustments occur annually on July 1<sup>st</sup>.



ii. The 2023-2024 Water Rate, Connection & System Development Charges are as follows:

Meter Size (in)	SDC Reimbursement	SDC Improvement	Total SDC Charges
3/4	\$ 4,296	\$ 6,302	\$ 10,598
1	\$ 7,162	\$ 10,504	\$ 17,666
1-1/2	\$ 14,324	\$ 21,011	\$ 35,335
2	\$ 22,918	\$ 33,613	\$ 56,531
3	\$ 45,836	\$ 67,226	\$ 113,062
4	\$ 71,620	\$ 105,040	\$ 176,660
6	\$ 143,239	\$ 210,081	\$ 353,320
8	\$ 229,183	\$ 336,129	\$ 565,312
10	\$ 329,451	\$ 483,185	\$ 812,636
12	\$ 483,433	\$ 709,023	\$ 1,192,456

5. District Approvals:

- a. Water improvement drawings shall be prepared by an Oregon Professional Engineer and submitted to CRW for approval.
- b. The Developer will be required to pay a time-and-materials deposit to the District for Plan Check and Inspection prior to review of any construction plans. The developer will be reimbursed for any unused deposit amount or billed for any additional expenses due.
- c. Upon completion of construction plan review, additional requirements may be set forth by the District.

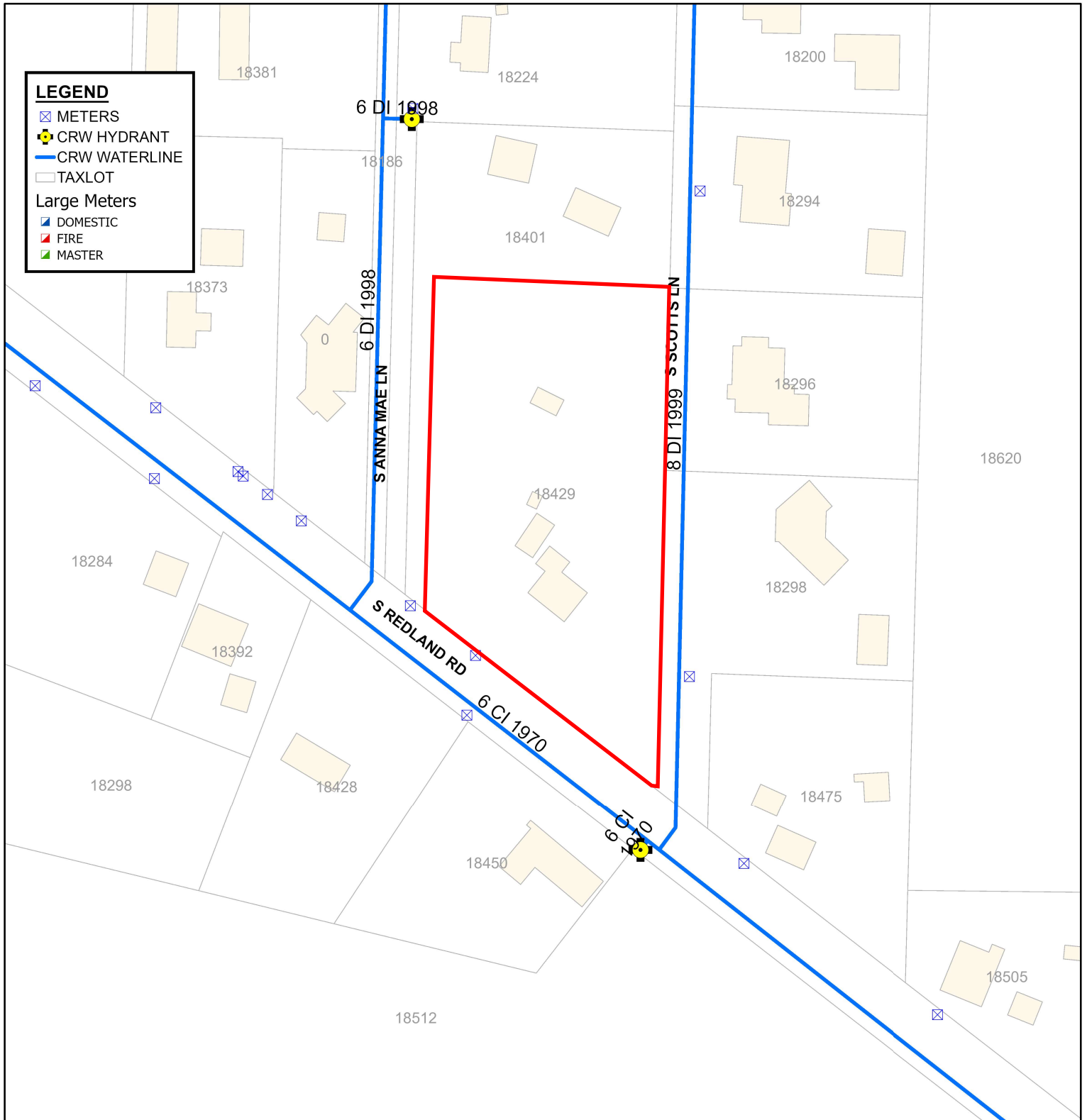
6. Clackamas County Development Permit:

- a. It will be the developer's responsibility to acquire any necessary easements for water facilities that shall be provided and designated on the final plat, as deemed necessary by the District. These easements must have functional access to public right of way and be properly recorded.
- b. Fire and domestic water services, as approved with this land use application, are intended specifically for the lot(s) being developed and are not intended to serve additional parcels or structures which may be created in the future. In the event that the parcels and/or lots are further divided to create additional parcels or lots, the owner is required to provide separate fire and domestic water services per CRW Rules and Regulations.
- c. Any fire suppression related improvements will require review and approval of Clackamas County Fire District #1 to ensure proper fire coverage and fire service connection installation in accordance with applicable regulations along with the appropriate backflow prevention assembly and flow detector.

For further information regarding this application, please contact Anthony Steele at 503-722-9239 or [asteele@crwater.com](mailto:asteele@crwater.com).

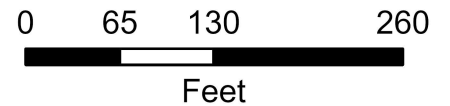
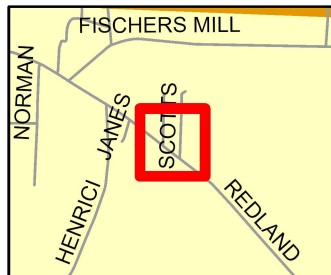
cc: Clackamas Fire  
Applicant  
file

# Clackamas River Water - 18429 S Redland Rd



Date: 10/29/2023  
 Drawing Name: GIS-Development  
 Drawing Location: I:\Documentation\Facility Data  
 Drawing By: A. Steele

MAP FOR REFERENCE PURPOSES ONLY  
 The information on this map is derived from Clackamas River Water's digital database. However, there may be map errors or omissions. Please contact Clackamas River Water directly to verify map information. Notification of any errors is appreciated.



**CLACKAMAS RIVER WATER**  
 GEOGRAPHIC INFORMATION SYSTEM

16770 SE 82nd Drive - Clackamas, Oregon  
 503-722-9220 - www.crwwater.com



## PRELIMINARY STATEMENT OF FEASIBILITY

TO BE COMPLETED BY APPLICANT		
Applicant name: <b>Yuriy Cheshev G</b>	Applicant email: <b>c.yuriy0202@gmail.com</b>	Applicant phone: <b>503-548-8771</b>
Project engineer:	Project engineer email:	Project engineer phone:
Site address: <b>18429 S Redland Rd</b>		
Map and tax lot #:  <div style="text-align: center; margin-top: 10px;">           Township: <u>3E</u> Range: <u>3S</u> Section: <u>06B</u> Tax Lot: <u>03600</u>            Township: _____ Range: _____ Section: _____ Tax Lot: _____            Township: _____ Range: _____ Section: _____ Tax Lot: _____         </div>		

TO BE COMPLETED BY SERVICE PROVIDER / SURFACE WATER MANAGEMENT AUTHORITY	
Name of service provider / surface water management authority: <b>Clackamas River Water</b>	Name and title of authorized representative: <b>Anthony Steele - Engineering Associate</b>
Representative email: <b>asteel@crwater.com</b>	Representative phone: <b>503-722-9239</b>
Check all that apply:	
<p><b>Water Service</b></p> <p><input checked="" type="checkbox"/> Water service, <i>including fire flows</i>, is available in levels appropriate for the development and adequate water system capacity is available in source, supply, treatment, transmission, storage, and distribution, or such levels and capacity can be made available through improvements completed by the developer or the system owner.</p> <p><input type="checkbox"/> Water service is adequate <i>with the exception of fire flows</i>. The applicant shall provide a statement from the fire district serving the subject property that states that an alternate method of fire protection, such as an on-site water source or sprinkler system, is acceptable.</p> <p><input type="checkbox"/> Adequate water service <i>cannot</i> be provided.</p> <p><b>Sanitary Sewer Service</b></p> <p><input type="checkbox"/> Sanitary sewer capacity in the wastewater treatment system and the sanitary sewage collection system is available to serve the development or can be made available through improvements completed by the developer or the system owner.</p> <p><input type="checkbox"/> Adequate sanitary sewer service <i>cannot</i> be provided.</p> <p><b>Surface Water Management, Treatment, and Conveyance</b></p> <p><input type="checkbox"/> Adequate surface water management, treatment, and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner.</p> <p><input type="checkbox"/> Adequate surface water management, treatment, and conveyance <i>cannot</i> be provided.</p>	
Is this statement issued subject to any conditions of approval?	
<input checked="" type="checkbox"/> YES, and those conditions are attached. <input type="checkbox"/> NO	
Signature of authorized representative: 	Date of signature: <b>10/30/23</b>



## Attachment

# County Preliminary Statement of Feasibility

To: Yuriy Cheshev G

---

From: Anthony Steele (CRW)

---

Date: 10/30/23

---

Re: 18429 S Redland Rd – ZPAC0097-23

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### ● Comments:

- A. *“Water service will be provided only from pipes or mains located within public street, alleys or rights-of-way, or within easements furnished to CRW, and to property or premises with frontage to such mains.... Each dwelling or building will be provided with its own water service connection and meter ...No person shall furnish water to other buildings or premises without the written approval of the Board, which may be granted in the sole discretion of the Board, and then only under the specific terms of an agreement approved by CRW”*
- B. Fire hydrant number and distribution shall be in accordance with the Oregon Fire Code C105.1
- C. Placement of fire hydrant systems shall be in accordance with the Oregon Fire Code 507.5.1
- D. Unless noted on plans or specified otherwise, all construction and backflow devices are to be in accordance with the most recent version of Clackamas River Water standards and the Oregon Administration Rules (OAR), Chapter 333.
- E. All water facilities design, construction, testing and maintenance, where applicable, shall conform to the latest adopted revision of the Oregon state Health Division administrative Rules chapter 333 on Public water System except where provisions outlined in the Clackamas River Water rules and regulations.
- F. For design of District’s water system improvements, hydraulic system must be analyzed using the worst- case scenario envisioned in the district’s current Water System Facilities Plan. The water system analysis shall be conducted using a simultaneous demand for the maximum (peak) day demand or peak hour non-fire demand, whichever is greater, and the fire demand.
- G. Any substantial deviation from the approved construction plans must have prior approval of the Water District.
- H. Easements for water facilities shall be provided along property lines and designated on the final plat, as deemed necessary by the Water District.
- I. Resale of water purchased from the Water District will not be permitted. No user shall resell or permit resale of water directly to any person, or for any use.

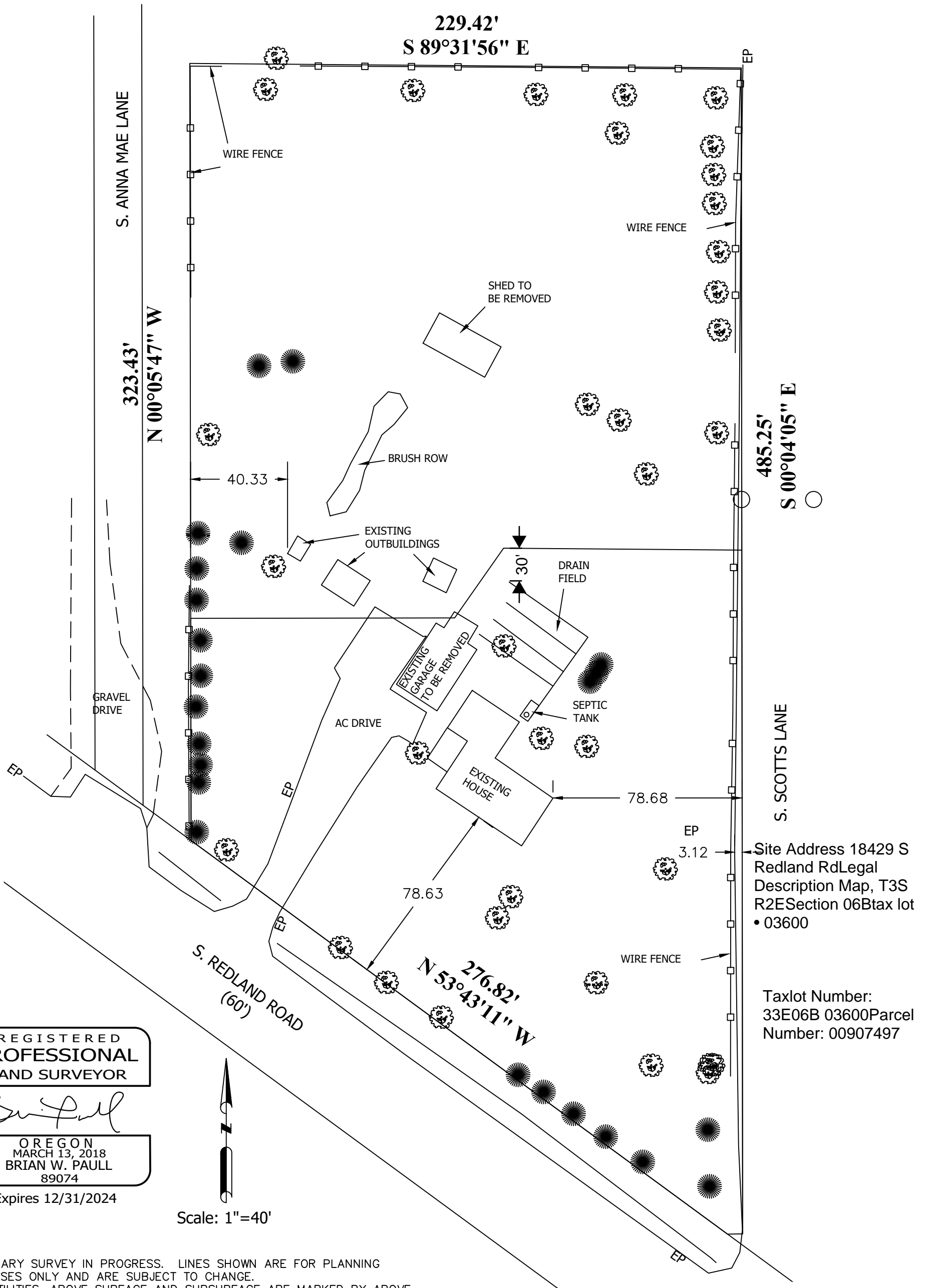
F:\DEVELOPMENT & NEW SERVICES\Land Use Design Review\Pre-App, Design Review & Land Use Applications\18429 S Redland Rd\Preliminary Statement of Feasibility\18429 S Redland Rd - SOF Conditions - CRW - 103023.docx

- J. An approved water system capable of supplying required fire flow for fire protection shall be provided to all premises upon which buildings are to be constructed.
- K. If water service is adequate with the exception of fire flows, the applicant shall submit a statement to Clackamas River Water from the fire district serving the subject property that states that if and /or what alternate method of fire protection is acceptable.
- L. Upon plan review there may be additional requirements as set forth by the Water District.

# EXISTING CONDITIONS

LOCATED IN THE NE AND NW 1/4 OR SEC. 6, T.3S., R.3E., W.M.,  
CLACKAMAS COUNTY, OREGON.

JULY 24, 2023



485.25'  
S 00°04'05\" E

S. SCOTTS LANE

Site Address 18429 S Redland Rd  
Legal Description Map, T3S R2E  
Section 06B tax lot • 03600

Taxlot Number:  
33E06B 03600  
Parcel Number: 00907497

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

*Brian W. Paull*

OREGON  
MARCH 13, 2018  
BRIAN W. PAULL  
89074

Expires 12/31/2024



Scale: 1"=40'

BOUNDARY SURVEY IN PROGRESS. LINES SHOWN ARE FOR PLANNING PURPOSES ONLY AND ARE SUBJECT TO CHANGE. ALL UTILITIES, ABOVE SURFACE AND SUBSURFACE ARE MARKED BY ABOVE GROUND OBSERVATIONS. THIS DOES NOT INCLUDE PRIVATE UTILITY CONNECTIONS NOT READILY VISIBLE OR LOCATED BY THE UTILITY PROVIDERS, PRIOR SURVEY, INFORMATION PROVIDED BY CLIENT AND/OR RECORDED EASEMENTS.

THIS SURVEY IS NOT INTENDED TO BE USED FOR CONSTRUCTION AND IS ADVISED THAT ALL UTILITIES BE LOCATED, MARKED AND FIELD VERIFIED BY CONTRACTOR, PRIOR TO EXCAVATION OR CONSTRUCTION.

**BRASS & STONE**  
LAND SURVEYING  
503-871-0030

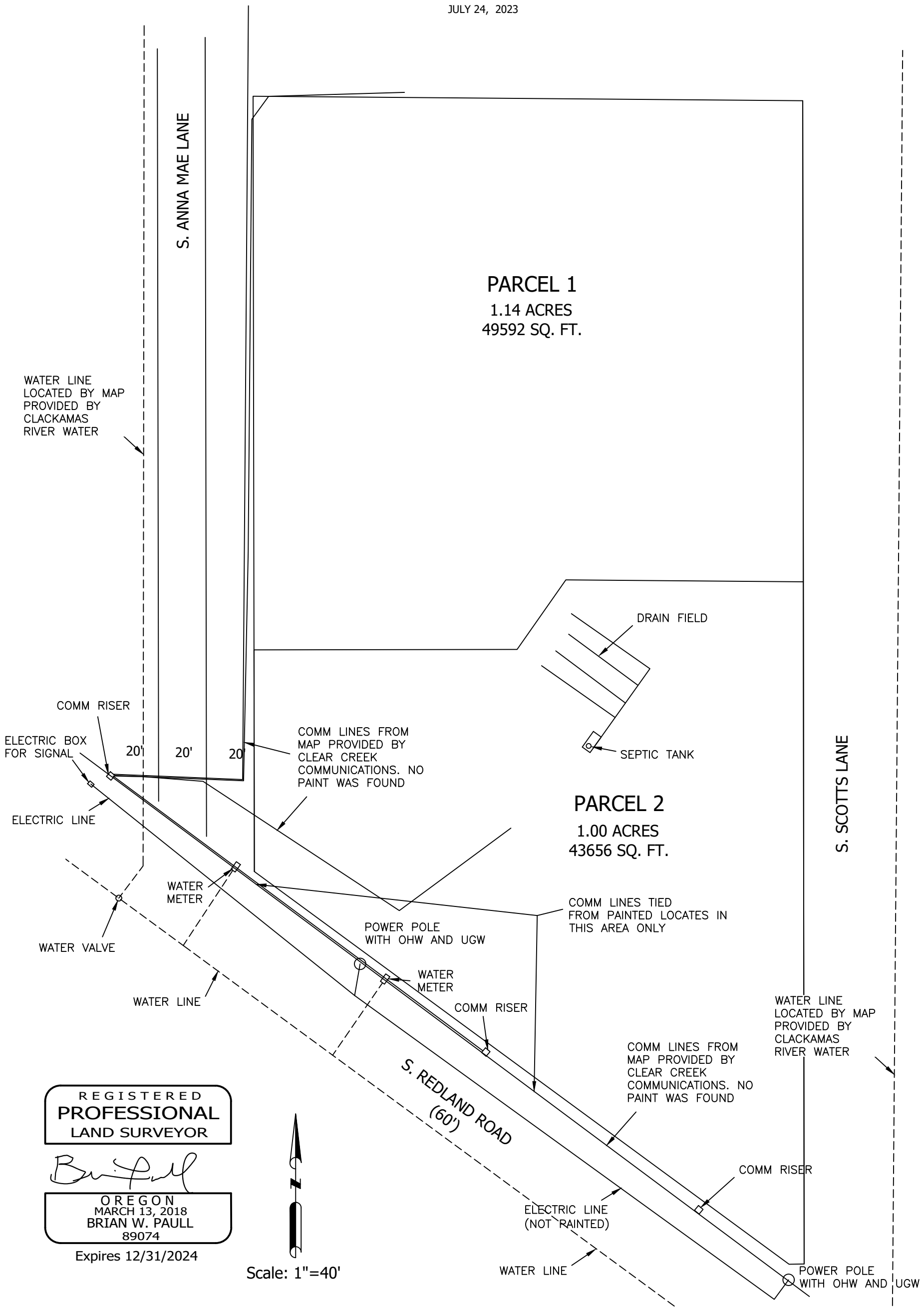
23-021  
1132 HERITAGE LP.  
Stayton, OR 97383  
SHEET 2/3



# SITE PLAN

LOCATED IN THE NE AND NW 1/4 OR SEC. 6, T.3S., R.3E., W.M.,  
CLACKAMAS COUNTY, OREGON.

JULY 24, 2023

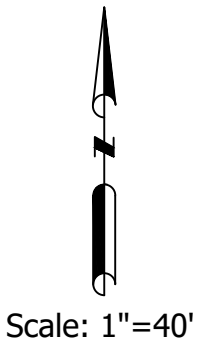


REGISTERED  
**PROFESSIONAL**  
LAND SURVEYOR

*Brian W. Paull*

OREGON  
MARCH 13, 2018  
BRIAN W. PAULL  
89074

Expires 12/31/2024



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**BRASS & STONE**  
LAND SURVEYING  
503-871-0030

23-021  
1132 HERITAGE LP.  
Stayton, OR 97383  
SHEET 3/3



Dan Johnson  
Director

Department of Transportation and Development

Development Services Building  
150 Beaver Creek Road | Oregon City, OR 97045

### Site Evaluation

Permit Number:	SE042023	Applied:	10/17/2023
Description:	Lot 1 of 2 parcel partition of a 2.14 acre property. The site is zoned RA1 and is currently developed with a circa 1964 single family home. Within the Clackamas River Water District. Planned for future residence on parcel 1.		
Permit Status:	Approved	Insp Area:	East
Site Address:	18429 S REDLAND RD OREGON CITY, OR 97045	Acres:	1.14
Parcel:	33E06B 03600	Completed By:	
Applicant:	Yuriy Cheshev - 18429 S REDLAND RD OREGON CITY, OR 97045 - C.YURIY0202@GMAIL.COM	County Fee:	\$0.00
Applicant Phone:	5035488771	DEQ Surcharge:	\$100.00
Contractor:	- -	Total Fees:	\$835.00
Contractor Phone:		Total Payments:	\$835.00
Owner:	YURIY CHESHEV	Balance Due:	\$0.00

---

Structure Type:	New Single Family Dwelling	Water Supply:	Public
# Bedrooms:	0	Projected Daily Gallons:	450



DAN JOHNSON  
DIRECTOR

DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT  
DEVELOPMENT SERVICES BUILDING  
150 BEAVERCREEK ROAD OREGON CITY, OR 97045

December 8, 2023

Yuriy Cheshev  
Cyuriy0202@gmail.com

IMPORTANT DOCUMENT – PLEASE READ CAREFULLY  
This is not a septic construction permit.

**Site:** Township 3S Range 3E Section 06B Tax Lot 03600  
18429 S Redland Rd. Oregon City OR (Lot 1 of 2)

**Application Number:** SE042023

**Results:** Approved

To whom it may concern:

Onsite Wastewater Systems program staff have completed an evaluation at the property referenced above. The site that was prepared for this evaluation was found suitable for an Onsite Wastewater treatment system. A detailed report of this investigation is enclosed. Current minimum design standards for a 4 bedroom single family residence are also included. This office can provide updated standards (fees may apply) for alternative developments or updated minimum standards as required by rule.

If you have any questions, feel free to contact me at 971-930-3592.

Sincerely,

Drake Amundson, REHS  
Soil Scientist

Enclosures:  
General Site Evaluation Information  
Field Sheet  
Construction Detail Sheet  
Minimum Setback Requirements

CC:

phone: 503-742-4740

fax: 503-742-4550

[www.clackamas.us/septic](http://www.clackamas.us/septic)

## General Site Evaluation Information

Please note that this approval is site specific to the area tested and does not address the feasibility of locating the system elsewhere on the property. The enclosed diagram indicates the limited area that appears suitable for this type of system. Please refer to the enclosed diagram for specifics concerning the dimensions and/or special conditions of the approved site.

Site evaluation report review. An applicant may request the Oregon Department of Environmental Quality to review a site evaluation report issued by an agent. The application for review must be submitted to the department in writing within 60 days after the site evaluation report issue date and must include the site evaluation review fee in OAR 340-071-0140(2). The department will review and approve or disapprove the site evaluation report.

This approval will remain valid until the system is installed and approved. Technical rule changes which take place after the date of this letter will not invalidate this approval, except that construction standards may be changed to meet codes applicable at the time of permit issuance. However, if conditions on this or adjacent properties are changed in any manner which would prohibit issuance of a permit because of a conflict with the applicable State rules, this approval will then be considered null and void. **Modifications to the approval area including logging, filling, cutting, or grading may render this approval invalid.** Check with this Department before conducting any of this work in the approval area.

The approval of this property and the conditions set forth in this letter in no way waives requirements as may be set by the zoning of the area. A permit to construct a system on this property will be subject to the review and approval of the County Planning Department. This Approval in no way waives any requirements set forth by other government agencies.

## **Minimum design requirements for an onsite wastewater treatment system**

Work in the vicinity of the absorption area shall begin when unsaturated soils conditions are found to a depth of at least six inches below the bottom of the absorption facility

### **Tank:**

- The tank will have a minimum liquid capacity of 1,500 gallons and shall be equipped with TWO watertight riser(s) to the surface. (SEE NOTE 2)
  - a. You may use a 1,000 gallon septic tank with a 500 gallon dosing tank, both equipped with watertight riser(s) to the surface.
  - b. An effluent lift pump is required as part of this system.
  - c. Hydrosplitter required

### **Drainfield:**

A standard absorption trench is required for this site. Please reference enclosed site map and OAR 340-071-0220 for comprehensive construction details. (SEE NOTE 1)

### **Conditions:**

- Keep traffic, such as vehicles, heavy equipment, or livestock off the drainfield and replacement area.
- No part of the system can be installed within any utilities, right of way, or access easement.
- Maximum number of bedrooms shall be 4.

NOTE 1: SOME ALTERNATIVE DRAIN MEDIA PRODUCTS ALLOW FOR DIFFERENT CONSTRUCTION STANDARDS. CONSULT INSTALLERS GUIDE OR THIS OFFICE WITH QUESTIONS

NOTE 2: SOME SYSTEMS MAY REQUIRE A DIFFERENT TANK SIZE THAN INDICATED CONSULT INSTALLERS GUIDE OR THIS OFFICE WITH QUESTIONS

**TABLE 1**  
**OAR 340-071-0220**  
**MINIMUM SEPARATION DISTANCES**

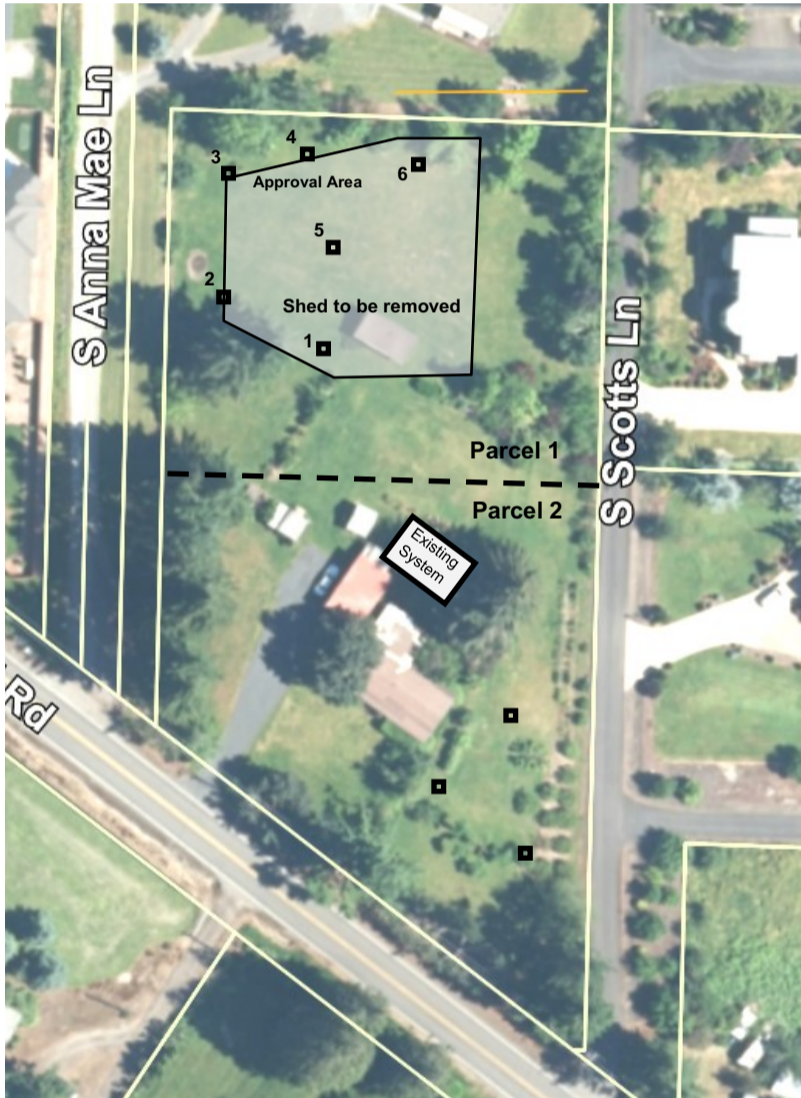
Items Requiring Setback	From Subsurface Absorption Area Including Replacement Area	From Septic Tank and Other Treatment Units, Effluent Sewer and Distribution Units
1. Groundwater Supplies and Wells.	*100'	50'
2. Springs: <ul style="list-style-type: none"> <li>• Upgradient.</li> <li>• Downgradient.</li> </ul>	50' 100'	50' 50'
**3. Surface Public Waters: <ul style="list-style-type: none"> <li>• Year round.</li> <li>• Seasonal.</li> </ul>	100' 50'	50' 50'
4. Intermittent Streams: <ul style="list-style-type: none"> <li>• Piped (watertight not less than 20' from any part of the onsite system).</li> <li>• Unpiped.</li> </ul>	20' 50'	20' 50'
5. Groundwater Interceptors: <ul style="list-style-type: none"> <li>• On a slope of 3% or less.</li> <li>• On a slope greater than 3%: <ul style="list-style-type: none"> <li>• Upgradient.</li> <li>• Downgradient.</li> </ul> </li> </ul>	20' 10' 50'	10' 5' 10'
6. Irrigation Canals: <ul style="list-style-type: none"> <li>• Lined (watertight canal).</li> <li>• Unlined: <ul style="list-style-type: none"> <li>• Upgradient.</li> <li>• Downgradient.</li> </ul> </li> </ul>	25' 25' 50'	25' 25' 50'
7. Manmade Cuts Down Gradient in Excess of 30 Inches (top of downslope cut): <ul style="list-style-type: none"> <li>• Which Intersect Layers that Limit Effective Soil Depth Within 48 Inches of Surface.</li> <li>• Which Do Not Intersect Layers that Limit Effective Soil Depth.</li> </ul>	50' 25'	25' 10'
8. Downgradient Escarpments: <ul style="list-style-type: none"> <li>• Which Intersect Layers that Limit Effective Soil Depth.</li> <li>• Which Do Not Intersect Layers that Limit Effective Soil Depth.</li> </ul>	50' 25'	10' 10'
9. Property Lines.	10'	5'
10. Water Lines.	10'	10'
11. Foundation Lines of any Building, Including Garages and Out Buildings.	10'	5'
12. Underground Utilities.	10'	—

\* 50-foot setback for wells constructed with special standards granted by WRD.

\*\*This does not prevent stream crossings of pressure effluent sewers.

**FIELD SHEET**  
**SEPTIC AND ONSITE WASTEWATER SYSTEMS**

Owner Cheshev SE042023 (Parcel 1 of 2)  
 Township 3S Range 3E Section 06B Tax Lot 03600 Acreage 2.14  
 Soil Scientist Drake Amundson REHS Weather 55F Sun Date 27NOV2023



**REVISED**  
By Drake Amundson at 10:30 am, 1/22/24



*MEASUREMENTS ARE APPROXIMATE*

Approved for Standard (primary & repair) Denied due to \_\_\_\_\_  
 Proposed Facility 4BD SFR Septic/Dosing/Holding Tank Capacity 1000/500 gallons  
 Leach lines per 150gpd 150 lineal feet Total required 450 Drain field Distribution Equal via hydrosplitter  
 Burial Depth 18 Max 18 Min Groundwater Interceptor \_\_\_\_\_ Depth \_\_\_\_\_ Gravel Water Supply Public

Comments: Parcel 1 of 2 at 1.14 acres—approval as proposed; see SE042023 for Parcel 2 results

**Test Pit 1****Slope: NNW 3%****N: 45.341321****W: -122.486305**

Depth	Texture	Color	Redox/Conc	Consistency (Moist)	Structure	Roots	H2O, ESD, Conditions associated with saturation, etc.
0-12"	SiL	10YR 3/3		fr	GR	2f-c	Grass, trees, shrubs
12-22"	vgSiCL	10YR 3/3		fr	2msbk	2f-m	
22-28"	xcbSiC	10YR 4/3		fi	1msbk	1f-m	
28-33"	SiC	10YR 4/3	c1f10YR 6/2 c2f10YR 5/2	fi	1csbk	2f-m	CAS; ESD>33"

**Test Pit 2****Slope: NNW 3%****N: 45.341418****W: -122.486509**

0-12"	SiL	10YR 3/3		fr	GR	2f-c	Grass, trees, shrubs
12-31"	vgSiCL	10YR 3/3		fr	2msbk	2f-m	
31-38"	xcbSiC	10YR 4/3	c3d10YR 6/2 c2d10YR 5/2	fi	1msbk	1f-m	CAS
38-48"	C	10YR 4/3	variegated	fi	ma		ESD, H2O@48"

**Test Pit 3****Slope: 3% NNW****N: 45.341598****W: -122.486454**

0-12"	SiL	10YR 3/3		fr	GR	2f-c	Grass, trees, shrubs
12-30"	SiCL	10YR 3/3		fr	2msbk	2f-m	
30-36"	SiC	10YR 4/3	c3f10YR 6/2 c2f10YR 5/2	fi	1msbk	1f-m	CAS, H2O@36"

**Test Pit 4****Slope: 3% NNW****N: 45.341636****W: -122.486286**

0-10"	SiL	10YR 3/3		fr	GR	2f-c	Grass, trees, shrubs
10-23"	SiCL	10YR 3/3		fr	2msbk	2f-m	
23-25"	SiC	10YR 4/3	c3f10YR 6/2 c2f10YR 5/2	fi	1msbk		CAS, H2O@25"

**Test Pit 5****Slope: 3% NNW****N: 45.341499****W: -122.466182**

0-12"	SiL	10YR 3/3		fr	GR	2f-c	Grass, trees, shrubs
12-18"	gSiCL	10YR 3/3		fr	2msbk	2f-m	
18-35"	cbSiC	10YR 4/3		fi	1msbk	1f-m	
35-42"	C	10YR 4/3	c3f10YR 6/2 c2f10YR 5/2		ma		ESD; H2O@42"

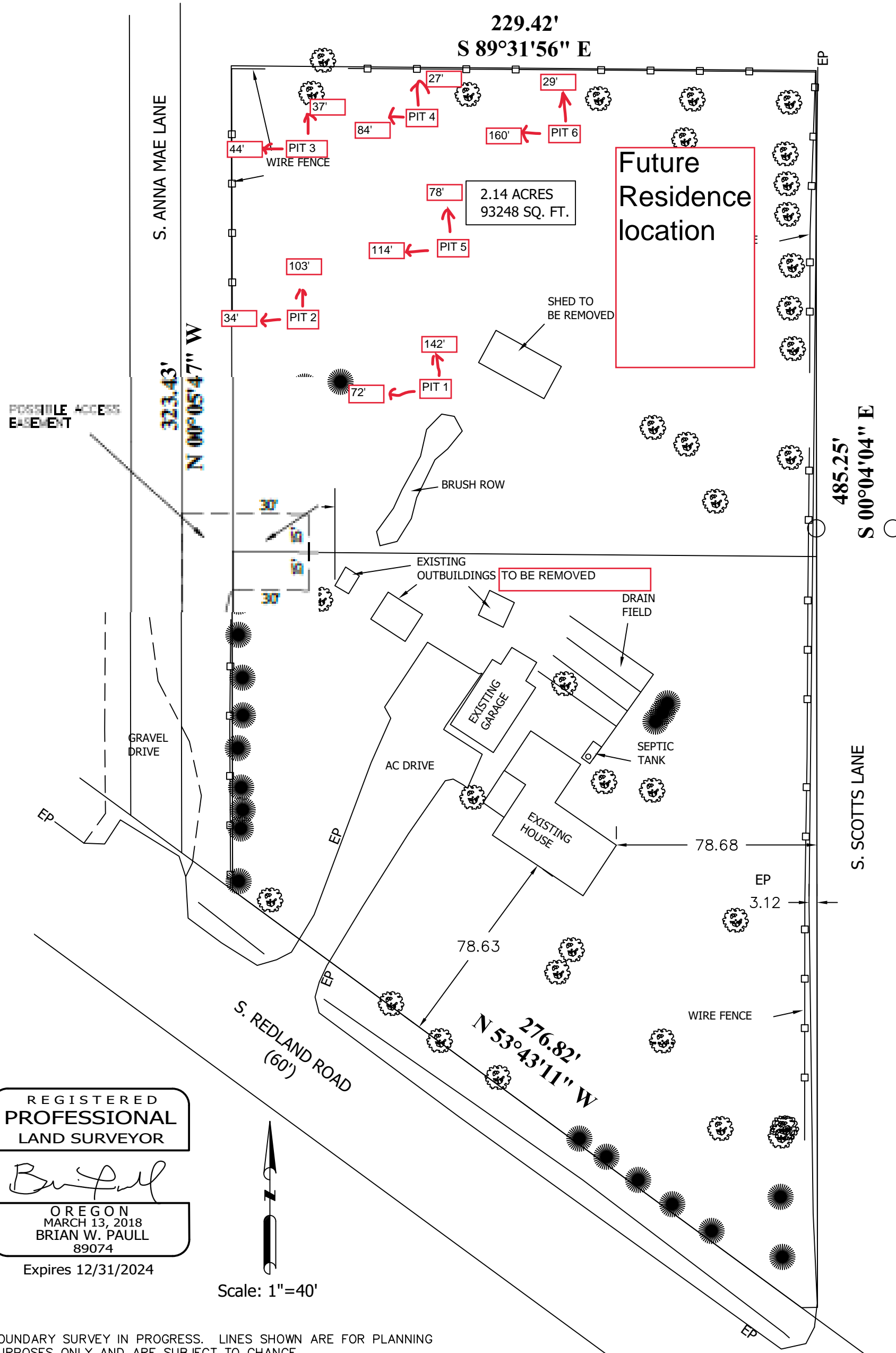
**Test Pit 6****Slope: 3% NNW****N: 45.341633****W: -122.486019**

0-12"	SiL	10YR 3/3		fr	GR	2f-c	Grass, trees, shrubs
12-30"	SiC	10YR 3/3		fr	2msbk	2f-m	
30-34"	C	10YR 4/3	c3f10YR 6/2 c2f10YR 5/2	fi	1csbk	1f-m	CAS, H2O@34"

# EXISTING CONDITIONS

LOCATED IN THE NE AND NW 1/4 OR SEC. 6, T.3S., R.3E., W.M.,  
CLACKAMAS COUNTY, OREGON.

JULY 24, 2023



REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

*Brian W. Paull*

OREGON  
MARCH 13, 2018  
BRIAN W. PAULL  
89074

Expires 12/31/2024



Scale: 1"=40'

BOUNDARY SURVEY IN PROGRESS. LINES SHOWN ARE FOR PLANNING PURPOSES ONLY AND ARE SUBJECT TO CHANGE. ALL UTILITIES, ABOVE SURFACE AND SUBSURFACE ARE MARKED BY ABOVE GROUND OBSERVATIONS. THIS DOES NOT INCLUDE PRIVATE UTILITY CONNECTIONS NOT READILY VISIBLE OR LOCATED BY THE UTILITY PROVIDERS, PRIOR SURVEY, INFORMATION PROVIDED BY CLIENT AND/OR RECORDED EASEMENTS.

THIS SURVEY IS NOT INTENDED TO BE USED FOR CONSTRUCTION AND IS ADVISED THAT ALL UTILITIES BE LOCATED, MARKED AND FIELD VERIFIED BY CONTRACTOR, PRIOR TO EXCAVATION OR CONSTRUCTION.



**BRASS & STONE**  
LAND SURVEYING  
503-871-0030

23-021

1132 HERITAGE LP.  
Stayton, OR 97383

SHEET 2/2

# Current Project - OAS Application Data - Clackamas

Project: **SE042023**

Request Number: **TEMP-SEPTIC-21583**

Report date: **10/17/2023 01:31 AM**

FIELD	VALUE
<b>First Name</b>	Yuriy
<b>Last Name</b>	Cheshev
<b>Address</b>	18429 s redland rd
<b>City</b>	Oregon City
<b>State</b>	OR
<b>Zip</b>	97045
<b>Primary Phone</b>	5035488771
<b>Email</b>	c.yuriy0202@gmail.com
<b>First Name</b>	Yuriy
<b>Last Name</b>	Cheshev
<b>Phone</b>	5035488771
<b>Email</b>	c.yuriy0202@gmail.com
<b>Address Selection</b>	Job Site Address
<b>Street Number</b>	18429
<b>JobSiteAddress_StreetNum</b>	18429
<b>JobSiteAddress_Direction</b>	S
<b>JobSiteAddress_StreetName</b>	REDLAND
<b>JobSiteAddress_StreetType</b>	RD
<b>JobSiteAddress_City</b>	OREGON CITY
<b>JobSiteAddress_State</b>	OR
<b>JobSiteAddress_Zip</b>	97045
<b>Contractor Type</b>	Contractor to be determined
<b>Description of Work</b>	2 parcel partition of a 2.14 acre property. The site is zoned RA1 and is currently developed with a circa 1964 single family home. Within the Clackamas River Water District. Planned for future residence on parcel 1. Pits holes are excavated for evaluation of future leach field for future residence.
<b>Application Type</b>	Site Evaluation

# Current Project - OAS Application Data - Clackamas

Project: **SE042023**

Request Number: **TEMP-SEPTIC-21583**

Report date: **10/17/2023 01:31 AM**

FIELD	VALUE
<b>Use of Structure</b>	Residential
<b>Type of Structure</b>	New Single Family Dwelling
<b>Site Evaluation For</b>	Partition into Lots
<b>Will the system serve a new or replacement dwelling?</b>	Yes
<b>Is this system currently in failure?</b>	No
<b>Water Source</b>	Public
<b>Acres</b>	1.14
<b>Current Number of Bedrooms</b>	0
<b>Proposed Number of Bedrooms</b>	4
<b>Current Number of Gallons Per Day</b>	NaN
<b>Proposed Number of Gallons Per Day</b>	NaN
<b>Septic Tank Capacity</b>	NaN
<b>Total Number of Lots</b>	1
<b>Signature</b>	Yuriy Cheshev
<b>Signature Date</b>	2023-10-17 00:55:06
<b>First Name</b>	Yuriy
<b>Last Name</b>	Cheshev
<b>Email Address</b>	c.yuriy0202@gmail.com
<b>Validated Address</b>	18429 REDLAND RD OREGON CITY OR 97045
<b>Validated Taxlot Number</b>	33E06B 03600
<b>Jurisdiction</b>	Clackamas County
<b>Submitter_copyprofile</b>	Submitter is current user.
<b>Applicant_ProjectContact_copyprofile</b>	Applicant is current user.
<b>Owner_copyprofile</b>	Owner is current user.
<b>Acknowledge1</b>	I understand the review process will not begin until all required documents are uploaded in ProjectDox, the pre-screen by the County is complete, and the required fees are paid.

# Current Project - OAS Application Data - Clackamas

Project: **SE042023**

Request Number: **TEMP-SEPTIC-21583**

Report date: **10/17/2023 01:31 AM**

FIELD	VALUE
<b>Acknowledge2</b>	General Conditions and Requirements for All Permits – Installation Permits are valid for one year from the date of issuance. Renewal or reinstatement of a permit may be granted to the original permittee if an application for permit renewal or reinstatement is filed within one year after the original permit expiration date. The renewal or reinstatement will be issued an expiration date one year after the previous date of expiration. Transfer of a permit from the original permittee to another person may be granted if an application for a permit transfer is filed prior to the original permit expiration date and no other changes to the permit are necessary. Note: The fee for renewal, reinstatement, or transfer of a permit is less than that for a new permit.
<b>Acknowledgement3</b>	ALL WORK IS TO CONFORM TO OREGON ADMINISTRATIVE RULES, CHAPTER 340, DIVISIONS 71 & 73. WORK MUST BE DONE BY THE OWNER OR BY LICENSED SEWAGE TREATMENT SERVICE BUSINESS. MAKE NO CHANGES IN THE SYSTEM LOCATION OR SPECIFICATIONS WITHOUT WRITTEN APPROVAL FROM THE PERMIT ISSUING AGENT.
<b>Acknowledgement4</b>	Installation requirements: The drainfield is to be installed in undisturbed native soil. There are to be no alterations of the natural site conditions such as soil removal or filling, or slope/topography alterations within the approval areas for both the initial and replacement systems unless otherwise authorized by the agent. System installation is not to occur when soil moisture, high groundwater, adverse weather, or other conditions that could affect the quality of installation or reliability of the system are present. If such conditions are present and there is a need for sewage treatment at the site, the septic tank can be utilized as a temporary holding tank as outlined in 340-071-0160.
<b>Acknowledgement5</b>	Inspection Requirements: The system installer and/or the permit holder must notify the permitting Agent when the construction, alteration, or repair of a system for which a permit was issued is completed (except for the backfilling or covering of the installation). For Pressurized Distribution, Sand Filters, Recirculating Gravel Filters, Alternative Treatment Technologies, and Capping Fill systems several inspections are required during the construction process (see inspection requirements specific to each system installation). The permitting agent has 7 days to perform an inspection of the completed construction after the official notice date, unless the permitting agent elects to waive the inspection and authorizes the system to be backfilled earlier. Receipt and acceptance of the completed Final Inspection Request and Notice forms (As-built, materials list, applicable Certificate of Decommissioning) by the permitting agent establishes the official notice date of your request for the pre-cover inspection. The received copies must be legible and acceptable or will otherwise not be considered complete. Please complete all sections 1-4 on the form and return it to the office that issued the permit. Forms determined to be incomplete will be returned.

# Current Project - OAS Application Data - Clackamas

Project: **SE042023**

Request Number: **TEMP-SEPTIC-21583**

Report date: **10/17/2023 01:31 AM**

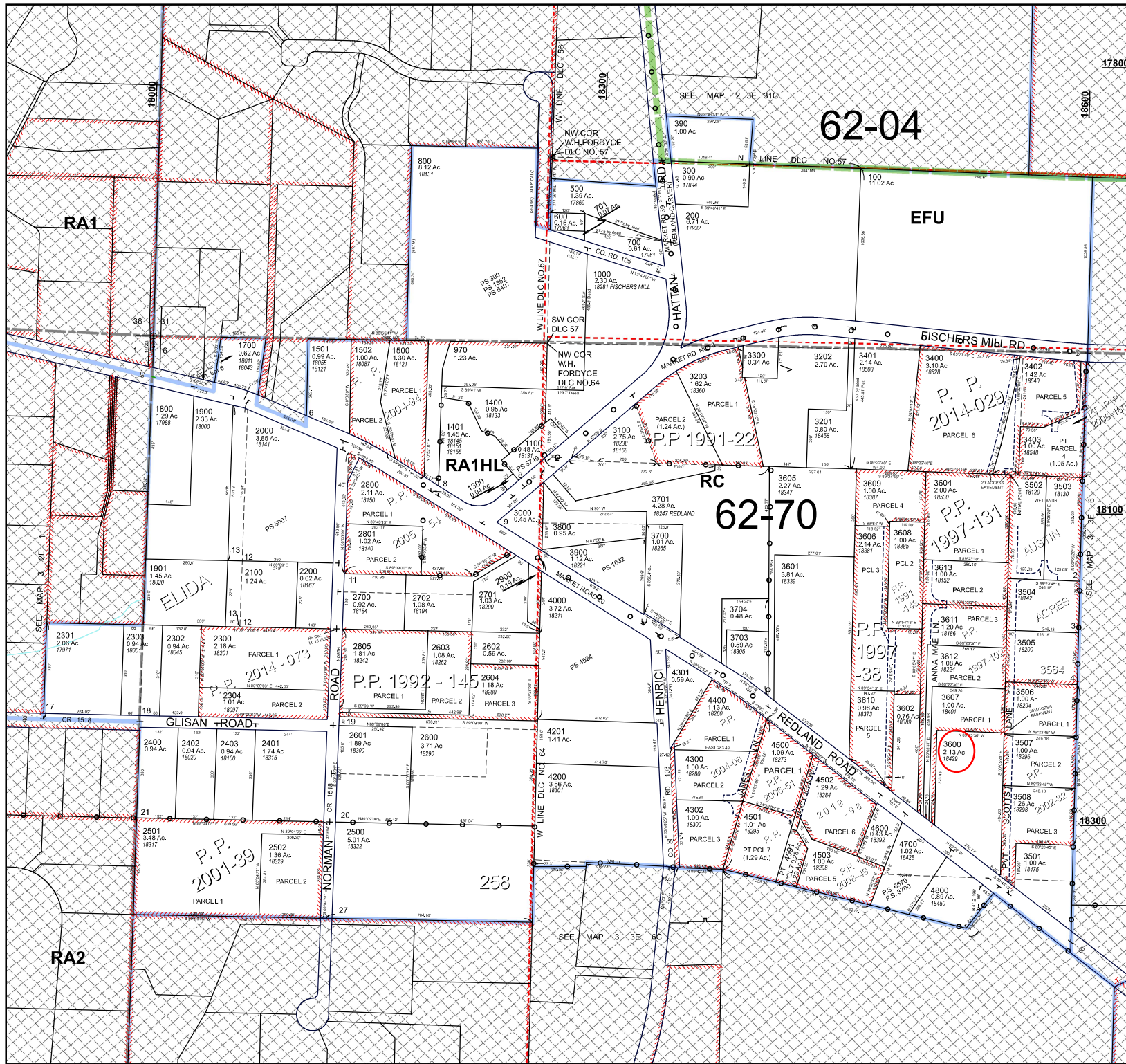
FIELD	VALUE
<b>Acknowledgement6</b>	<p>System Backfill Requirements: The system is to be backfilled or covered only after the permitting agent has approved the construction installation, the inspection has been waived, or the Certificate of Satisfactory Completion (CSC) has been issued by operation of law where the inspection has not been conducted within 7 days of notification of completed installation. Unless otherwise required, it is the system installer's responsibility to backfill the system within 10 days after inspection and issuance of the CSC. Backfill must be carefully placed to prevent damage to the system. The backfill must be free of large stones, frozen clumps of earth, masonry, stumps, waste construction materials, or other materials that could damage the system. Be sure that the untreated building paper, filter fabric, or other material approved by the agent is completely covering all drain media where required prior to backfill. The system can be connected to and placed into service once it has been properly backfilled and the CSC has been issued.</p>
<b>Acknowledgement7</b>	<p>Initial and Replacement Areas – Protection: The installed subsurface absorption field and designated replacement areas must be protected and kept free of development such as roadways, covering with asphalt or concrete, filling, cutting, livestock grazing, or other soil modifications [see OAR 340-071-0220 (1) h].</p>
<b>feesSign</b>	<p>I, being the authorized applicant, acknowledge that: I have personally examined and am familiar with all the information submitted in response to the questions contained in this notice, and any attachments, and attest that all information submitted is true, correct and complete; and I understand and agree that clicking the box above will be deemed the equivalent of a signature in electronic form.</p>

N.W. 1/4 SEC.6 T.3S. R.3E. W.M.  
CLACKAMAS COUNTY  
1" = 200'

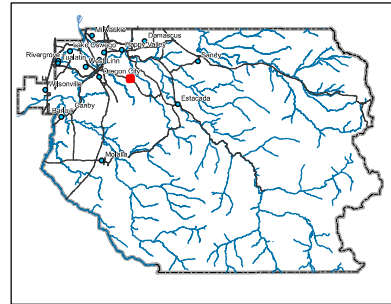
D. L. C.  
WM. H. FORDYCE NO. 57 & 64

Cancelled Taxlots

- 3492
- 1200
- 890
- 880
- 900
- 990
- 980
- 960
- 4100
- 1600
- 4001
- 400
- 3603
- 3290
- 3204
- 3200
- 3702
- 801
- 3500



- Parcel Boundary
- Private Road ROW
- Historical Boundary
- Railroad Centerline
- Tax Code Lines
- Map Index
- Water Lines
- Land Use Zoning
- Plats
- Water
- Corner
- Section Corner
- 1/16th Line
- Govt Lot Line
- DLC Line
- Meander Line
- PLSS Section Line
- Historic Corridor 40'
- Historic Corridor 20'



THIS MAP IS FOR ASSESSMENT PURPOSES ONLY



Dan Johnson  
Director

Department of Transportation and Development

Development Services Building  
150 Beavercreek Road | Oregon City, OR 97045

### Site Evaluation

Permit Number:	SE044423	Applied:	11/08/2023
Description:	Lot 2 of 2 - Evaluation for future repair area to serve existing 3 bdrm SFR		
Permit Status:	Approved	Insp Area:	
Site Address:	18429 S REDLAND RD OREGON CITY, OR 97045	Acres:	2.13
Parcel:	33E06B 03600	Completed By:	
Applicant:	Yuriy Cheshev - 18429 S REDLAND RD OREGON CITY, OR 97045 - C.YURIY0202@GMAIL.COM	County Fee:	\$0.00
		DEQ Surcharge:	\$100.00
Applicant Phone:	5035488771	Total Fees:	\$835.00
Contractor:	- -	Total Payments:	\$835.00
Contractor Phone:		Balance Due:	\$0.00
Owner:	YURIY CHESHEV		

---

Structure Type:	Existing Dwelling	Water Supply:	Public
# Bedrooms:	3	Projected Daily Gallons:	



DAN JOHNSON  
DIRECTOR

DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT  
DEVELOPMENT SERVICES BUILDING  
150 BEAVERCREEK ROAD OREGON CITY, OR 97045

December 8, 2023

Yuriy Cheshev  
Cyuriy0202@gmail.com

IMPORTANT DOCUMENT – PLEASE READ CAREFULLY  
This is not a septic construction permit.

**Site:** Township 3S Range 3E Section 06B Tax Lot 03600  
18429 S Redland Rd. Oregon City OR (Proposed Lot 2 of 2)

**Application Number:** SE044423

**Results:** Approved

To whom it may concern:

Onsite Wastewater Systems program staff have completed an evaluation at the property referenced above. The site that was prepared for this evaluation was found suitable for an Onsite Wastewater treatment system. A detailed report of this investigation is enclosed. Current minimum design standards are included for a designated repair area for the existing 3 bedroom single family residence. This office can provide updated standards (fees may apply) for alternative developments or updated minimum standards as required by rule.

If you have any questions, feel free to contact me at 971-930-3592.

Sincerely,

Drake Amundson, REHS  
Soil Scientist

Enclosures:  
General Site Evaluation Information  
Field Sheet  
Construction Detail Sheet  
Minimum Setback Requirements

CC:

phone: 503-742-4740

fax: 503-742-4550

[www.clackamas.us/septic](http://www.clackamas.us/septic)

## General Site Evaluation Information

Please note that this approval is site specific to the area tested and does not address the feasibility of locating the system elsewhere on the property. The enclosed diagram indicates the limited area that appears suitable for this type of system. Please refer to the enclosed diagram for specifics concerning the dimensions and/or special conditions of the approved site.

Site evaluation report review. An applicant may request the Oregon Department of Environmental Quality to review a site evaluation report issued by an agent. The application for review must be submitted to the department in writing within 60 days after the site evaluation report issue date and must include the site evaluation review fee in OAR 340-071-0140(2). The department will review and approve or disapprove the site evaluation report.

This approval will remain valid until the system is installed and approved. Technical rule changes which take place after the date of this letter will not invalidate this approval, except that construction standards may be changed to meet codes applicable at the time of permit issuance. However, if conditions on this or adjacent properties are changed in any manner which would prohibit issuance of a permit because of a conflict with the applicable State rules, this approval will then be considered null and void. **Modifications to the approval area including logging, filling, cutting, or grading may render this approval invalid.** Check with this Department before conducting any of this work in the approval area.

The approval of this property and the conditions set forth in this letter in no way waives requirements as may be set by the zoning of the area. A permit to construct a system on this property will be subject to the review and approval of the County Planning Department. This Approval in no way waives any requirements set forth by other government agencies.

## **Minimum design requirements for an onsite wastewater treatment system**

Work in the vicinity of the absorption area shall begin when unsaturated soils conditions are found to a depth of at least six inches below the bottom of the absorption facility

### **Tank:**

- The tank will have a minimum liquid capacity of 1,000 gallons and shall be equipped with ONE watertight riser(s) to the surface. (SEE NOTE 2)
  - a. You may use a 1,000 gallon septic tank with a 500 gallon dosing tank, both equipped with watertight riser(s) to the surface.
  - b. An effluent lift pump may be required as part of this system.

### **Drainfield:**

A standard absorption trench is one option for this site. Please reference enclosed site map and OAR 340-071-220 for comprehensive construction details. (SEE NOTE 1)

### **Conditions:**

- Keep traffic, such as vehicles, heavy equipment, or livestock off the drainfield and replacement area.
- No part of the system can be installed within any utilities, right of way, or access easement.
- Approval designates repair area for existing 3 bedroom residence.
- Maximum number of bedrooms shall be 3.

**NOTE 1:** SOME ALTERNATIVE DRAIN MEDIA PRODUCTS ALLOW FOR DIFFERENT CONSTRUCTION STANDARDS. CONSULT INSTALLERS GUIDE OR THIS OFFICE WITH QUESTIONS

**NOTE 2:** SOME SYSTEMS MAY REQUIRE A DIFFERENT TANK SIZE THAN INDICATED CONSULT INSTALLERS GUIDE OR THIS OFFICE WITH QUESTIONS

**TABLE 1**  
**OAR 340-071-0220**  
**MINIMUM SEPARATION DISTANCES**

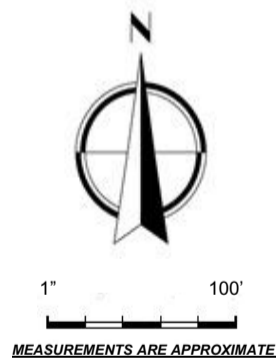
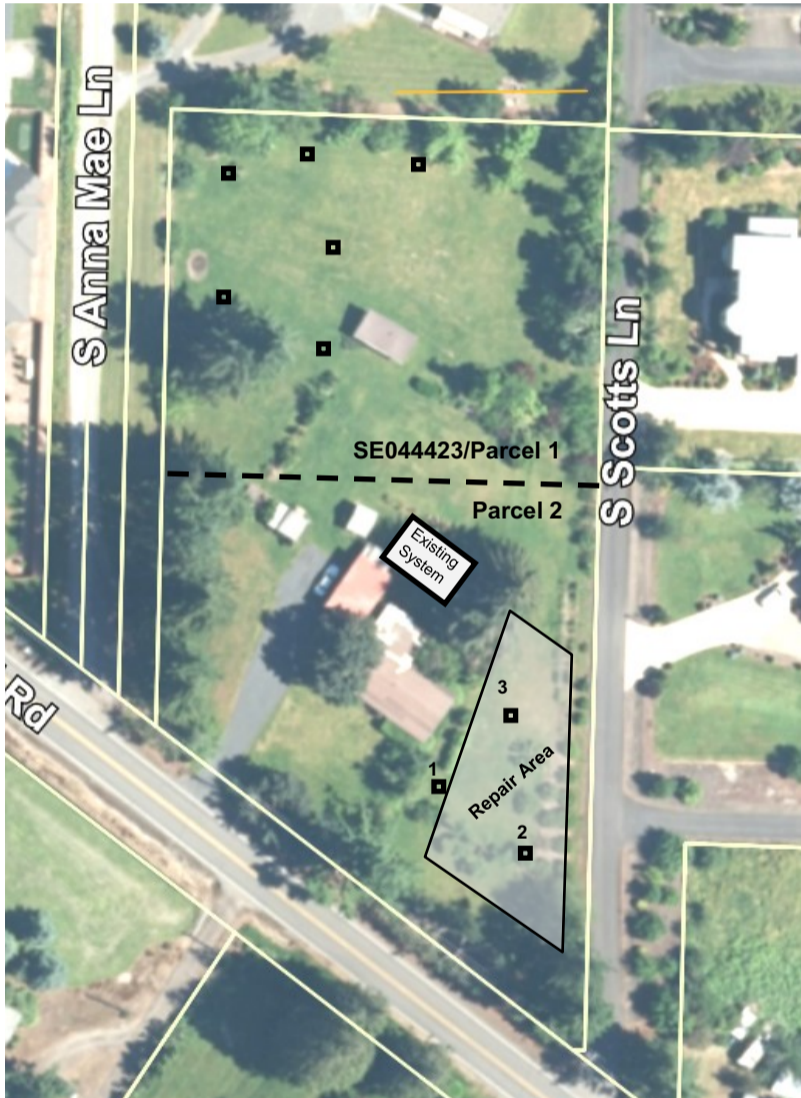
Items Requiring Setback	From Subsurface Absorption Area Including Replacement Area	From Septic Tank and Other Treatment Units, Effluent Sewer and Distribution Units
1. Groundwater Supplies and Wells.	*100'	50'
2. Springs: <ul style="list-style-type: none"> <li>• Upgradient.</li> <li>• Downgradient.</li> </ul>	50' 100'	50' 50'
**3. Surface Public Waters: <ul style="list-style-type: none"> <li>• Year round.</li> <li>• Seasonal.</li> </ul>	100' 50'	50' 50'
4. Intermittent Streams: <ul style="list-style-type: none"> <li>• Piped (watertight not less than 20' from any part of the onsite system).</li> <li>• Unpiped.</li> </ul>	20' 50'	20' 50'
5. Groundwater Interceptors: <ul style="list-style-type: none"> <li>• On a slope of 3% or less.</li> <li>• On a slope greater than 3%: <ul style="list-style-type: none"> <li>• Upgradient.</li> <li>• Downgradient.</li> </ul> </li> </ul>	20' 10' 50'	10' 5' 10'
6. Irrigation Canals: <ul style="list-style-type: none"> <li>• Lined (watertight canal).</li> <li>• Unlined: <ul style="list-style-type: none"> <li>• Upgradient.</li> <li>• Downgradient.</li> </ul> </li> </ul>	25' 25' 50'	25' 25' 50'
7. Manmade Cuts Down Gradient in Excess of 30 Inches (top of downslope cut): <ul style="list-style-type: none"> <li>• Which Intersect Layers that Limit Effective Soil Depth Within 48 Inches of Surface.</li> <li>• Which Do Not Intersect Layers that Limit Effective Soil Depth.</li> </ul>	50' 25'	25' 10'
8. Downgradient Escarpments: <ul style="list-style-type: none"> <li>• Which Intersect Layers that Limit Effective Soil Depth.</li> <li>• Which Do Not Intersect Layers that Limit Effective Soil Depth.</li> </ul>	50' 25'	10' 10'
9. Property Lines.	10'	5'
10. Water Lines.	10'	10'
11. Foundation Lines of any Building, Including Garages and Out Buildings.	10'	5'
12. Underground Utilities.	10'	—

\* 50-foot setback for wells constructed with special standards granted by WRD.

\*\*This does not prevent stream crossings of pressure effluent sewers.

**FIELD SHEET**  
**SEPTIC AND ONSITE WASTEWATER SYSTEMS**

Owner Cheshev SE044423 (Parcel 2 of 2)  
 Township 3S Range 3E Section 06B Tax Lot 03600 Acreage 1.74  
 Soil Scientist Drake Amundson REHS Weather 55F Sun Date 27NOV2023



Approved for Standard (repair area) Denied due to \_\_\_\_\_

Proposed Facility Existing 3BD SFR Septic/Dosing/Holding Tank Capacity 1000 gallons

Leach lines per 150gpd 150 lineal feet Total required 450 Drain field Distribution Serial

Burial Depth 24 Max 24 Min Groundwater Interceptor \_\_\_\_\_ Depth \_\_\_\_\_ Gravel Water Supply Public

Comments: Proposed Parcel 2 of 2 lot subdivision; see SE044423 for Parcel 1 results

**Test Pit 1****Slope: NNW 3%****N: 45.340712****W: -122.486132**

Depth	Texture	Color	Redox/Conc	Consistency (Moist)	Structure	Roots	H2O, ESD, Conditions associated with saturation, etc.
0-10"	SiL	10YR 2/3		fr	GR	2f-c	Grass, trees, shrubs
10-24"	gSiCL	10YR 3/3		fr	2msbk	2f-m	>15% coarse fragments
24-30"	xcbSiC	10YR 3/3		fi	1msbk	1f-m	>35% coarse fragments
30-36"	gC	10YR 4/3	c1f10YR 6/2 c2f10YR 5/2	vfi	1csbk		ESD

**Test Pit 2****Slope: NNW 3%****N: 45.340626****W: -122.485907**

0-8"	SiL	10YR 2/3		fr	GR	2f-c	Grass, trees, shrubs
8-22"	SiCL	10YR 3/3		fr	2msbk	2f-m	
22-33"	SiC	10YR 3/3		fi	1msbk	1f-m	
33-40"	gC	10YR 4/3	variegated	vfi	1csbk	1f-m	ESD

**Test Pit 3****Slope: 3% NNW****N: 45.340822****W: -122.485831**

0-12"	SiL	10YR 3/3		fr	GR	2f-c	Grass, trees, shrubs
12-25"	SiCL	10YR 3/3		fr	2msbk	2f-m	
25-30"	gSiC	10YR 3/3		fi	1msbk	1f-m	
30-36"	gC	10YR 4/3	c3f10YR 6/2 c2f10YR 5/2	vfi	1csbk	1f-m	CAS@36"; H2O@40"

**Test Pit 4****Slope:****N:****W:**

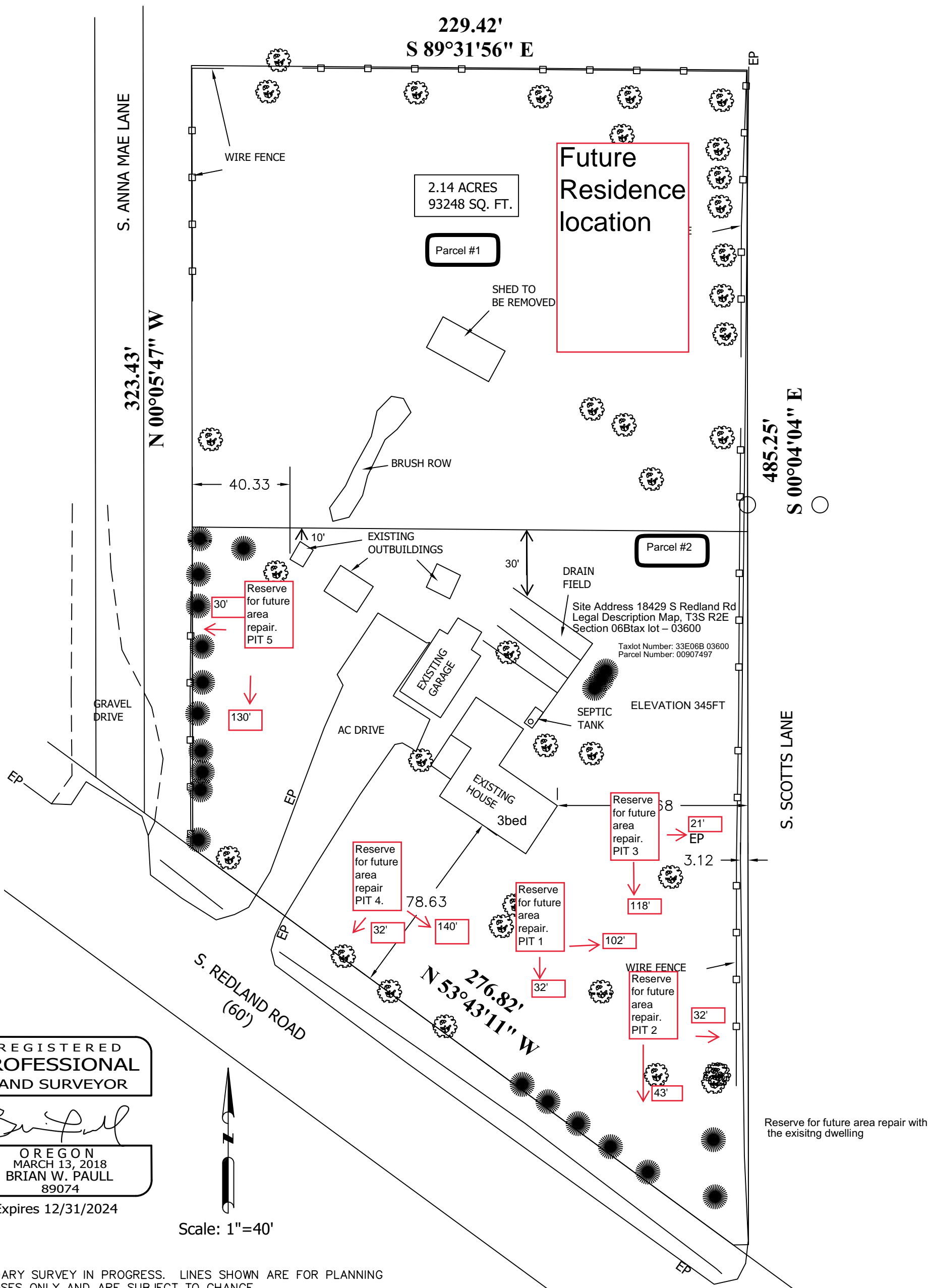

**Test Pit 5****Slope:****N:****W:**


**Test Pit 6****Slope:****N:****W:**


# EXISTING CONDITIONS

LOCATED IN THE NE AND NW 1/4 OR SEC. 6, T.3S., R.3E., W.M.,  
CLACKAMAS COUNTY, OREGON.

JULY 24, 2023

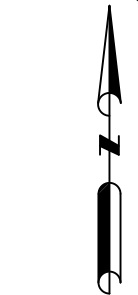


REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

*Brian W. Paull*

OREGON  
MARCH 13, 2018  
BRIAN W. PAULL  
89074

Expires 12/31/2024



Scale: 1"=40'

BOUNDARY SURVEY IN PROGRESS. LINES SHOWN ARE FOR PLANNING PURPOSES ONLY AND ARE SUBJECT TO CHANGE. ALL UTILITIES, ABOVE SURFACE AND SUBSURFACE ARE MARKED BY ABOVE GROUND OBSERVATIONS. THIS DOES NOT INCLUDE PRIVATE UTILITY CONNECTIONS NOT READILY VISIBLE OR LOCATED BY THE UTILITY PROVIDERS, PRIOR SURVEY, INFORMATION PROVIDED BY CLIENT AND/OR RECORDED EASEMENTS.

THIS SURVEY IS NOT INTENDED TO BE USED FOR CONSTRUCTION AND IS ADVISED THAT ALL UTILITIES BE LOCATED, MARKED AND FIELD VERIFIED BY CONTRACTOR, PRIOR TO EXCAVATION OR CONSTRUCTION.

**BRASS & STONE**  
LAND SURVEYING  
503-871-0030

23-021

1132 HERITAGE LP.  
Stayton, OR 97383

SHEET 2/2

# Current Project - OAS Application Data - Clackamas

Project: **SE044423**

Request Number: **TEMP-SEPTIC-22209**

Report date: **11/08/2023 08:13 AM**

FIELD	VALUE
<b>First Name</b>	Yuriy
<b>Last Name</b>	Cheshev
<b>Email Address</b>	c.yuriy0202@gmail.com
<b>First Name</b>	Yuriy
<b>Last Name</b>	Cheshev
<b>Address</b>	18429 s redland rd
<b>City</b>	Oregon City
<b>State</b>	OR
<b>Zip</b>	97045
<b>Primary Phone</b>	5035488771
<b>Email</b>	c.yuriy0202@gmail.com
<b>First Name</b>	Yuriy
<b>Last Name</b>	Cheshev
<b>Phone</b>	5035488771
<b>Email</b>	c.yuriy0202@gmail.com
<b>Validated Address</b>	18450 REDLAND RD OREGON CITY OR 97045
<b>Validated Taxlot Number</b>	33E06B 04800
<b>Jurisdiction</b>	Clackamas County
<b>Contractor Type</b>	Contractor to be determined
<b>Description of Work</b>	We are creating a partition; The test pits for the existing dwelling are for reserve in case replacement of existing drain field is needed.
<b>Application Type</b>	Site Evaluation
<b>Use of Structure</b>	Residential
<b>Type of Structure</b>	Existing Dwelling
<b>Site Evaluation For</b>	Partition into Lots
<b>Will the system serve a new or replacement dwelling?</b>	Yes
<b>Is this system currently in failure?</b>	No

# Current Project - OAS Application Data - Clackamas

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Project: **SE044423**

Request Number: **TEMP-SEPTIC-22209**

Report date: **11/08/2023 08:13 AM**

FIELD	VALUE
<b>Water Source</b>	Public
<b>Acres</b>	2.13
<b>Current Number of Bedrooms</b>	3
<b>Proposed Number of Bedrooms</b>	3
<b>Total Number of Lots</b>	2

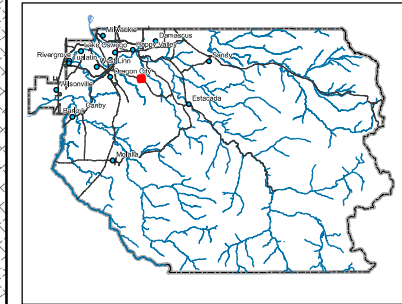
N.W. 1/4 SEC.6 T.3S. R.3E. W.M.  
CLACKAMAS COUNTY  
1" = 200'

D. L. C.  
WM. H. FORDYCE NO. 57 & 64

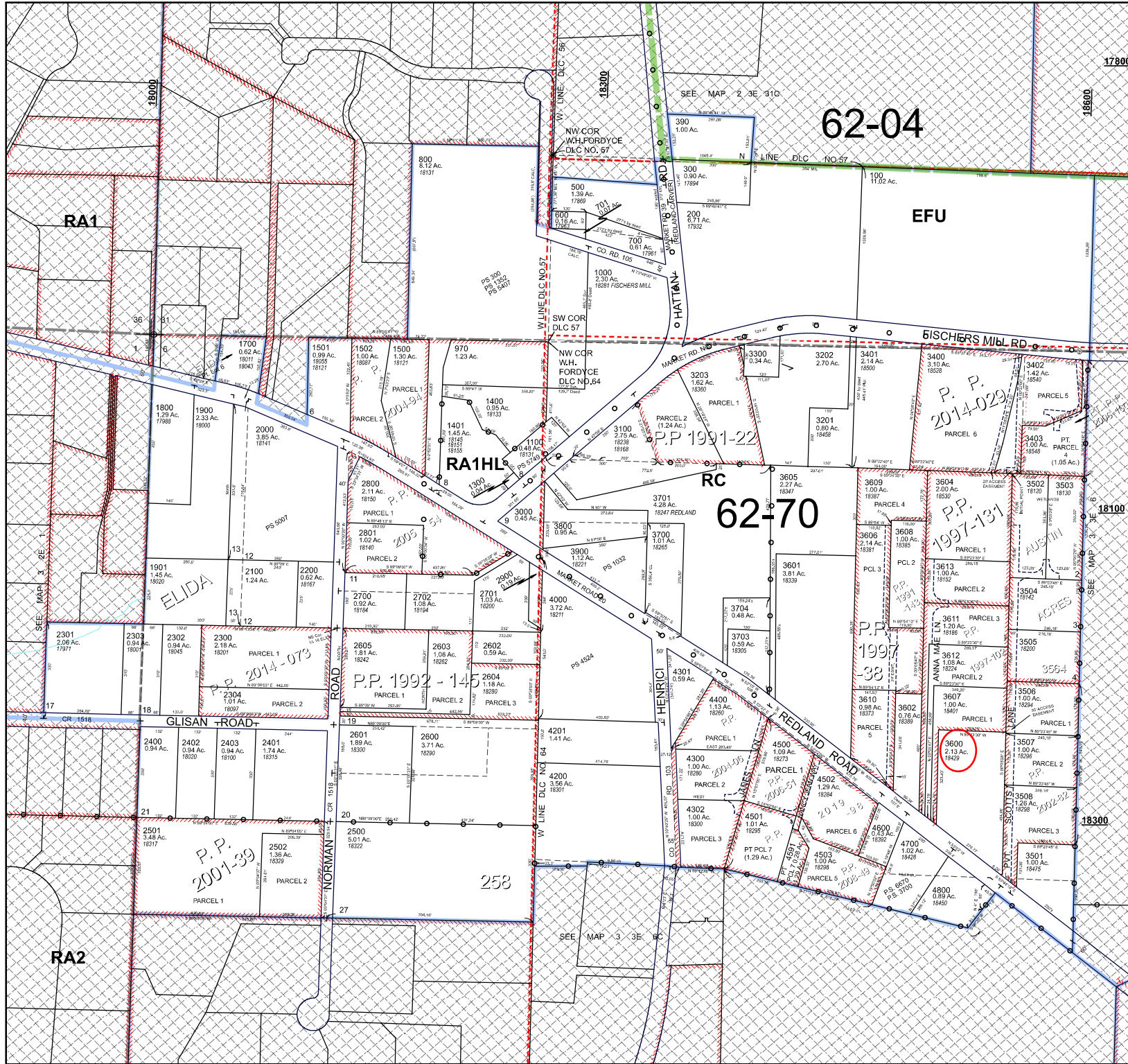
Cancelled Taxlots

- 3492
- 1200
- 890
- 880
- 900
- 990
- 980
- 960
- 4100
- 1600
- 4001
- 400
- 3603
- 3290
- 3204
- 3200
- 3702
- 801
- 3900

- Parcel Boundary
- - - Private Road ROW
- - - Historical Boundary
- - - Railroad Centerline
- Tax Code Lines
- ⊞ Map Index
- Water Lines
- Land Use Zoning
- ▭ Plats
- Water
- ⊙ Corner
- Section Corner
- 1/16th Line
- Govt Lot Line
- DLC Line
- Meander Line
- PLSS Section Line
- ⊗ Historic Corridor 40'
- ⊙ Historic Corridor 20'



THIS MAP IS FOR ASSESSMENT PURPOSES ONLY





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## Instructions for PRELIMINARY STATEMENTS OF FEASIBILITY

### Instructions to Applicant:

The attached *Preliminary Statement of Feasibility* form is to be completed by the applicable sanitary sewer service provider, surface water management authority, and water service provider. Where there is no surface water management service district for the subject property, this form is to be provided to the Clackamas County Department of Transportation and Development, Transportation Engineering Division. *Preliminary Statements of Feasibility* are not required for onsite wastewater treatment facilities (e.g., septic tanks) or water service by private well.

Completed *Preliminary Statement of Feasibility* forms must be submitted with a land use application for design review, a partition, a subdivision, conditional use permit, or zone change.

It is the responsibility of the applicant for a land use application to provide a copy of this form to each service provider for the subject property. A service provider may require the submission of detailed plans and/or engineering data prior to determining whether a *Preliminary Statement of Feasibility* will be issued. Contact the service providers for details.

The forms must be dated no more than one year prior to submittal of a complete land use application.

### Instructions to Reviewing Service Provider or Surface Water Management Authority:

A development is proposed within your service area. Please complete the attached *Preliminary Statement of Feasibility* to indicate whether adequate service can be provided to this development.

If adequate service can be provided only with the implementation of certain conditions of approval, you may attach such conditions to the completed form. Completion of the *Preliminary Statement of Feasibility* does not imply that additional requirements (e.g., plan submittals) may not be imposed by your agency once a land use application for the prospective development is filed.

Clackamas County Planning & Zoning will continue to provide notice to you of land use applications for property within your service area. This will allow you to determine whether the submitted development proposal differs from the plans reviewed by your agency in conjunction with the completion of this statement. This will also allow you to provide additional comments as necessary.

*Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or [drenhard@clackamas.us](mailto:drenhard@clackamas.us).*

**503-742-4545:** ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод?  
翻译或口译? | Cán Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



**Planning and Zoning**  
**Department of Transportation and Development**  
 Development Services Building  
 150 Beaver Creek Road | Oregon City, OR 97045  
 503-742-4500 | zoninginfo@clackamas.us  
 www.clackamas.us/planning

## PRELIMINARY STATEMENT OF FEASIBILITY

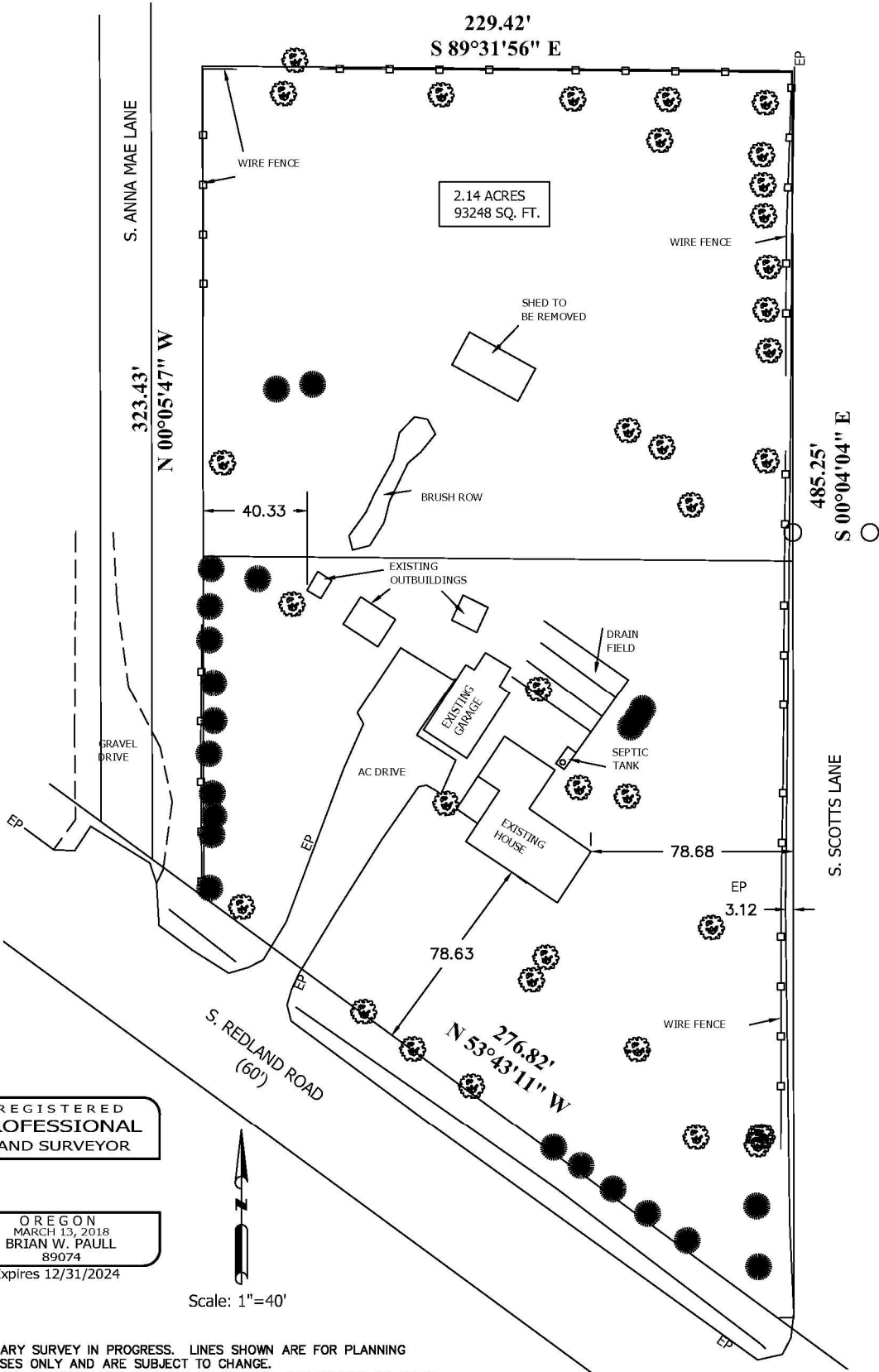
TO BE COMPLETED BY APPLICANT		
Applicant name: <b>Yuriy Cheshev</b>	Applicant email: <b>c.yuriy0202@gmail.com</b>	Applicant phone: <b>503-548-8771</b>
Project engineer:	Project engineer email:	Project engineer phone:
Site address: <b>18429 s redland rd, oregon city, OR 97045</b>		
Map and tax lot #:  <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <span>Township: <u>3</u></span> <span>Range: <u>3E</u></span> <span>Section: <u>3606B</u></span> <span>Tax Lot: <u>03600</u></span> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <span>Township: _____</span> <span>Range: _____</span> <span>Section: _____</span> <span>Tax Lot: _____</span> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <span>Township: _____</span> <span>Range: _____</span> <span>Section: _____</span> <span>Tax Lot: _____</span> </div>		

TO BE COMPLETED BY SERVICE PROVIDER / SURFACE WATER MANAGEMENT AUTHORITY	
Name of service provider / surface water management authority: <b>Clackamas County DTD</b>	Name and title of authorized representative: <b>Jonny Gish DRC</b>
Representative email: <b>jgish@clackamas.us</b>	Representative phone: <b>503-804-8271</b>
Check all that apply:	
<p><b>Water Service</b></p> <p><input type="checkbox"/> Water service, <i>including fire flows</i>, is available in levels appropriate for the development and adequate water system capacity is available in source, supply, treatment, transmission, storage, and distribution, or such levels and capacity can be made available through improvements completed by the developer or the system owner.</p> <p><input type="checkbox"/> Water service is adequate <i>with the exception of fire flows</i>. The applicant shall provide a statement from the fire district serving the subject property that states that an alternate method of fire protection, such as an on-site water source or sprinkler system, is acceptable.</p> <p><input type="checkbox"/> Adequate water service <i>cannot</i> be provided.</p> <p><b>Sanitary Sewer Service</b></p> <p><input type="checkbox"/> Sanitary sewer capacity in the wastewater treatment system and the sanitary sewage collection system is available to serve the development or can be made available through improvements completed by the developer or the system owner.</p> <p><input type="checkbox"/> Adequate sanitary sewer service <i>cannot</i> be provided.</p> <p><b>Surface Water Management, Treatment, and Conveyance</b></p> <p><input checked="" type="checkbox"/> Adequate surface water management, treatment, and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner.</p> <p><input type="checkbox"/> Adequate surface water management, treatment, and conveyance <i>cannot</i> be provided.</p>	
Is this statement issued subject to any conditions of approval?	
<input type="checkbox"/> YES, and those conditions are attached. <input checked="" type="checkbox"/> NO	
Signature of authorized representative:  <div style="display: flex; align-items: center; justify-content: center; margin-top: 10px;"> <span style="font-size: 24px; font-weight: bold; margin-right: 10px;">JGish</span> <small style="font-size: 8px; margin-left: 5px;">Digitally signed by JGish DN: E=jgish@clackamas.us, CN=JGish Date: 2024.03.04 09:07:32-0800'</small> </div>	Date of signature:

# EXISTING CONDITIONS

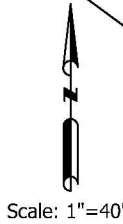
LOCATED IN THE NE AND NW 1/4 OR SEC. 6, T.3S., R.3E., W.M.,  
CLACKAMAS COUNTY, OREGON.

JULY 24, 2023



REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
MARCH 13, 2018  
BRIAN W. PAULL  
89074  
Expires 12/31/2024



BOUNDARY SURVEY IN PROGRESS. LINES SHOWN ARE FOR PLANNING PURPOSES ONLY AND ARE SUBJECT TO CHANGE. ALL UTILITIES, ABOVE SURFACE AND SUBSURFACE ARE MARKED BY ABOVE GROUND OBSERVATIONS. THIS DOES NOT INCLUDE PRIVATE UTILITY CONNECTIONS NOT READILY VISIBLE OR LOCATED BY THE UTILITY PROVIDERS, PRIOR SURVEY, INFORMATION PROVIDED BY CLIENT AND/OR RECORDED EASEMENTS.

THIS SURVEY IS NOT INTENDED TO BE USED FOR CONSTRUCTION AND IS ADVISED THAT ALL UTILITIES BE LOCATED, MARKED AND FIELD VERIFIED BY CONTRACTOR, PRIOR TO EXCAVATION OR CONSTRUCTION.

**BRASS & STONE**  
LAND SURVEYING  
503-871-0030

1132 HERITAGE LP.  
Stayton, OR 97383